

CITY OF KYLE



Notice of Regular City Council Meeting

KYLE CITY HALL
100 W. Center Street

Notice is hereby given that the governing body of the City of Kyle, Texas will meet at 8:30 PM on 10/2/2012, at Kyle City Hall, 100 West Center Street, Kyle, Texas for the purpose of discussing the following agenda.

Posted this 27th day of September, 2012 prior to 7:00 p.m.

I. Call Meeting To Order

II. Citizen Comment Period With City Council

The City Council welcomes comments from Citizens early in the agenda of regular meetings. Those wishing to speak must sign in before the meeting begins at the Kyle City Hall. Speakers may be provided with an opportunity to speak during this time period, and they must observe the three-minute time limit.

III. Consent Agenda

1. Crystal Meadows Drive (ROW)
4.557 acres
Located off of Crystal Meadows Drive
Owner: Century Acres Property Owners Association
Agent: Jenn Dermanci, P.E., Doucet & Associates
~ Sofia Nelson, Director of Planning

Planning and Zoning Commission voted 7-0 to Statutorily Disapprove the plat.

Statutory Disapproval (Note: In accordance with the statutory requirements of the Texas Local Government Code reflected in Sections 12.03.001, 12.05.004, 12.06.004 the following applications are recommended for statutory disapproval in order to allow the City to process the application. These applications will continue through the review process without bias and will be placed on the agenda in a timely manner once the review process is complete. Statutory disapproval in order to meet statutory requirements under these sections shall not bias future consideration of this application by the Planning and Zoning Commission.

[Attachments](#)

2. Plum Creek Phase 1 Section 11J - Final Plat
19.100 acres; 1 Lot
Located southwest of the intersection of Kohlers Crossing and FM 1626, adjacent to the Plum Creek Golf Course Driving Range
Owner: Plum Creek Development Partners, LTD
Agent: Alan Rhames, P.E., Axiom Engineers, Inc.
~ Sofia Nelson, Director of Planning

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3. Plum Creek Phase 1 Section 11J - Preliminary Plan

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Agent: Alan Rhames, P.E., Axiom Engineers, Inc.

~ Sofia Nelson, Director of Planning

Planning and Zoning Commission voted 7-0 to Statutorily Disapprove the Preliminary Plan.

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 [Attachments](#)

4. Plum Creek Phase 1 Section 6E 2-3 Preliminary Plan

10.100 acres; 53 Lots

Located to the northeast of the current end of Hellman Drive, just east of 2770

Owner: Plum Creek Development Partners, Ltd.

Agent: Alan Rhames, P.E., Axiom Engineers, Inc.

~ Sofia Nelson, Director of Planning

Planning and Zoning Commission voted 7-0 to Statutorily Disapprove the Preliminary Plan.

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consideration of this application by the Planning and Zoning Commission.

 [Attachments](#)

5. Post Oak Phase 4B (FP-09-005)

19.341 acres; 63 Lots

Located off of CR158, just east of Post Road

Applicant: PO Ltd.

Agent: Matt Mitchell, P.E., ALM Engineering

~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the plat.

 [Attachments](#)

IV. Consider and Possible Action

6. Austin Community College - Hays Campus (SD-12-014)

96.115 acres; 1 Lot

Located at 1200 Kohlers Crossing

Applicant: Austin Community College District

Agent: Debra Sappington - Gensler

~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the Site Plan with Conditions outlined in Staff Report.

- *Public Hearing*

 [Attachments](#)

7. First Baptist Church (SD-12-015)

1.66 acres; 1 Lot

Located at 400 W. Center Street

Applicant: First Baptist Church

Agent: Javier Barajas, P.E.

~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the site plan with conditions and variance request as outlined in staff report

- *Public Hearing*
- *Act on Request for an exception to non-conformities - non-conforming building*

 [Attachments](#)

8. Consider a request by First Baptist Church for a Conditional Use Permit to construct a 10,059 Square foot building located at 400 W. Center Street and within the Center Street Overlay District ~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the Conditional Use Permit.

- *Public Hearing*

 [Attachments](#)

9. Consider a request by First Baptist Church for a Conditional Use Permit to construct a parking lot located at 110 N. Nance and within the Center Street Overlay District ~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the Conditional Use Permit.

- *Public Hearing*

 [Attachments](#)

10. (*First Reading*) AN ORDINANCE AMENDING CHAPTER 53 (ZONING) OF THE CITY OF KYLE, TEXAS, FOR THE PURPOSE OF ASSIGNING ORIGINAL ZONING OF 'RS' RETAIL SERVICES DISTRICT TO APPROXIMATELY 1.180 ACRES, ON PROPERTY LOCATED AT THE CORNER OF E. POST ROAD AND IH-35 (AB 473 JAS W. WILLIAMS SURVEY 1.180 ACRES), IN HAYS COUNTY, TEXAS. (HDF INVESTMENTS - Z-12-006); AUTHORIZING THE CITY SECRETARY TO AMEND THE ZONING MAP OF THE CITY OF KYLE SO AS TO REFLECT THIS CHANGE; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE; PROVIDING FOR SEVERABILITY; AND ORDAINING OTHER PROVISIONS RELATED TO THE SUBJECT MATTER HEREOF; FINDING AND DETERMINING THAT THE MEETING AT WHICH THIS ORDINANCE WAS PASSED WAS OPEN TO THE PUBLIC AS REQUIRED BY LAW ~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 6-1 to approve the zoning request.

- *Public Hearing*

 [Attachments](#)

11. Consider a request by John Sanford for an amendment to the City of Kyle Zoning Ordinance, Section 53-1230 Land Use Table to allow "Gun Shops" within the "CBD-2" Central Business District-2 Zoning District ~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 5-2 to amend the City of Kyle Zoning Ordinance, Section 53-1230 Land Use Table to allow "Gun Shops" within the "CBD-2 District".

- *Public Hearing*

 [Attachments](#)

V. Executive Session

12. Convene into Executive Session pursuant to Section 551.071, Tex. Government Code, Consultation with the City Attorney to discuss the Extraterritorial Jurisdiction Boundary and Land Swap with the City of San Marcos

 [Attachments](#)

13. Reconvene into Open Session to Take Action as Deemed Appropriate in the City Council's Discretion regarding the Extraterritorial Jurisdiction Boundary and Land Swap with the City of San Marcos

 [Attachments](#)

VI. ADJOURN

At any time during the Regular City Council Meeting, the City Council may adjourn into an Executive Session, as needed, on any item listed on the agenda for which state law authorizes Executive Session to be held

*Per Texas Attorney General Opinion No. JC-0169; Open Meeting & Agenda Requirements, Dated January 24, 2000: The permissible responses to a general member communication at the meeting are limited by 551.042, as follows: "SEC.551.042. Inquiry Made at Meeting. (a) If, at a meeting of a government body, a member of the public or of the governmental body inquires about a subject for which notice has not been given as required by the subchapter, the notice provisions of this subchapter, do not apply to:(1) a statement of specific factual information given in response to the inquiry; or (2) a recitation of existing policy in response to the inquiry. (b) Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting.



CITY OF KYLE, TEXAS

Meeting Date: 10/2/2012
Date time: 8:30 PM

Crystal Meadow Drive (ROW)

Subject/Recommendation: Crystal Meadows Drive (ROW)
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Other Information: N/A

Budget Information: N/A

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download



CITY OF KYLE, TEXAS

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CITY OF KYLE, TEXAS

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Other Information: N/A

Budget Information: N/A

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Attachments / click to download



CITY OF KYLE, TEXAS

Post Oak 4B

Meeting Date: 10/2/2012
Date time: 8:30 PM

Subject/Recommendation: Post Oak Phase 4B (FP-09-005)
19.341 acres; 63 Lots
Located off of CR158, just east of Post Road
Applicant: PO Ltd.
Agent: Matt Mitchell, P.E., ALM Engineering
~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the plat.

Other Information: Please see attachments

Budget Information: N/A

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Attachments / click to download

[Plat](#)

[Staff Report](#)

MEMORANDUM

TO: City Council

FROM: Sofia Nelson, Director of Planning

DATE: September 27, 2012

SUBJECT: Post Oak Phase 4B

BACKGROUND

Planning and Zoning Commission Action: On September 25th the Planning and Zoning Commission unanimously recommended approval of the plat conditional on all outstanding Engineering and Public Works comments being addressed by the applicant.

Site Information and Proposal

The subject property is approximately 19.341 acres and is part of the existing Post Oak Subdivision. The property is zoned R-1-2 and the applicant is seeking to plat 59 residential lots that are approximately 60'X120'.

Utilities

The City of Kyle will provide water and wastewater to the site. The applicant has submitted public improvement construction plans for the extension of water and wastewater utilities.

Access

The proposed subdivision plat will extend Voyager Cove, Ames Cove and will construct Jernigan and Wallops Streets.

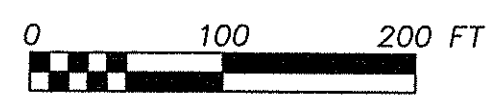
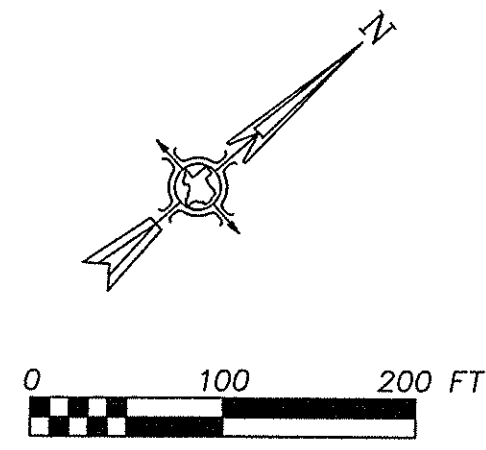
STAFF RECOMMENDATION:

Staff has reviewed the request for of the final plat and is recommending approval conditional on approval of the public improvement construction plans by the City Engineer for the following reasons:

- The plat is consistent with all zoning requirements for the property.
- The proposed provision and configuration of roads, water, wastewater, drainage and easements and rights-of-way are adequate to serve the subdivision.

FINAL PLAT POST OAK SUBDIVISION, PHASE 4B

19.341 ACRES, CITY OF KYLE, HAYS COUNTY, TEXAS



M.B. ATKINSON SURVEY, ABSTRACT No. 21

CONTINENTAL HOMES OF TEXAS, LP
VOL. _____ ACRES
PG. _____
H.C.O.P.R.

MCPIAT, LTD.
66.12 ACRES
2189/81, H.C.D.R.

C.R. 158

N 47°39'45" W 308.74'
S 47°39'45" E 2428.80'

10' HEREBY DEDICATED FOR R.O.W. PURPOSES

N 40°27'58" E 520.20'

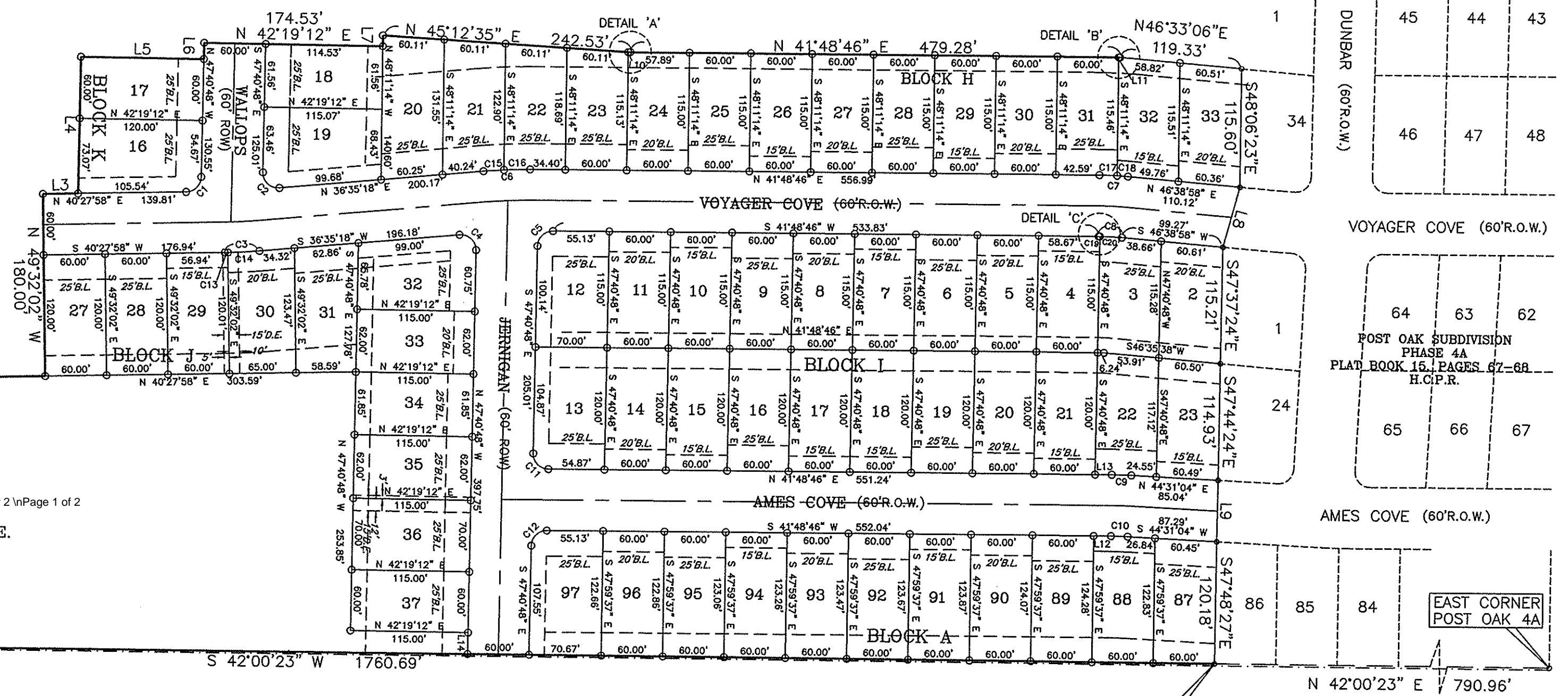
N 47°39'45" E 308.66'

N 47°39'45" W 308.74'

S 47°39'45" E 2428.80'

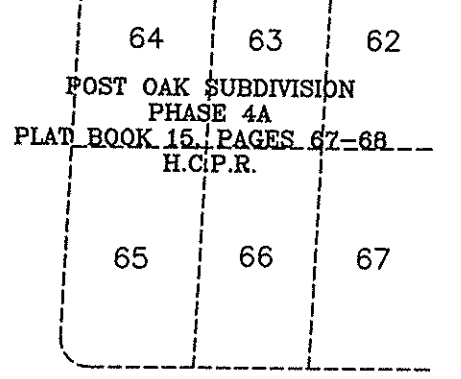
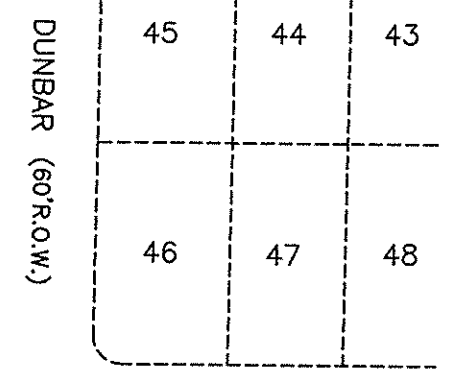
KYLE CITY LIMIT 1020.02'

BLOCK J
Attachment number 2 in Page 1 of 2
19
D.E. & P.U.E.



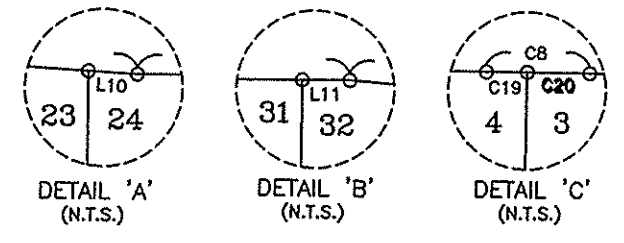
W.E. WIEGAND
100 ACRES
1333/333, H.C.D.R.

P.O.B. Bearing are based on the recorded plat of Post Oak Subdivision, Phase 4A, Vol. 15, Pg. 67-68, Hays County Plat Records.



- LEGEND**
- 1/2" IRON ROD SET W/CAP STAMPED "DIAMOND SURVEYING"
 - FOUND IRON ROD
 - P.U.E. PUBLIC UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - H.C.D.R. HAYS COUNTY DEED RECORDS
 - H.C.P.R. HAYS COUNTY PLAT RECORDS
 - H.C.O.P.R. HAYS COUNTY OFFICIAL PUBLIC RECORDS
 - P.O.B. POINT OF BEGINNING
 - - - KYLE CITY LIMIT

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	15.00	88°08'46"	23.08	N 03°36'25" W	20.87
C2	15.00	95°43'54"	25.06	S 84°27'15" W	22.25
C3	500.00	03°52'40"	33.84	S 38°31'38" W	33.83
C4	15.00	95°43'54"	25.06	S 84°27'15" W	22.25
C5	15.00	89°29'35"	23.43	S 02°56'01" E	21.12
C6	500.00	05°13'29"	45.59	S 39°12'02" W	45.58
C7	330.00	04°50'12"	27.86	N 44°13'52" E	27.85
C8	270.00	04°50'12"	22.79	N 44°13'52" E	22.79
C9	405.00	02°42'18"	19.12	N 43°09'55" E	19.12
C10	345.00	02°42'18"	16.29	N 43°09'55" E	16.29
C11	15.00	90°30'25"	23.69	S 87°03'59" W	21.31
C12	15.00	89°29'35"	23.43	S 02°56'01" E	21.12
C13	500.00	00°21'00"	3.06	N 40°17'28" E	3.06
C14	500.00	03°31'40"	30.79	S 38°21'08" W	30.78
C15	500.00	02°17'22"	19.98	N 37°43'58" E	19.98
C16	500.00	02°56'07"	25.62	S 40°20'43" W	25.61
C17	330.00	03°01'27"	17.42	N 43°19'30" E	17.42
C18	330.00	01°48'45"	10.44	S 45°44'36" W	10.44
C19	270.00	00°16'54"	1.33	S 41°57'13" W	1.33
C20	270.00	04°33'18"	21.47	S 44°22'19" W	21.46



STREET	LENGTH FT.	WIDTH FT.	PAVEMENT FOC-FOC FT.
VOYAGER COVE	1,163	60	28
AMES COVE	700	60	28
WALLOPS	174	60	36
JERNIGAN	447	60	28

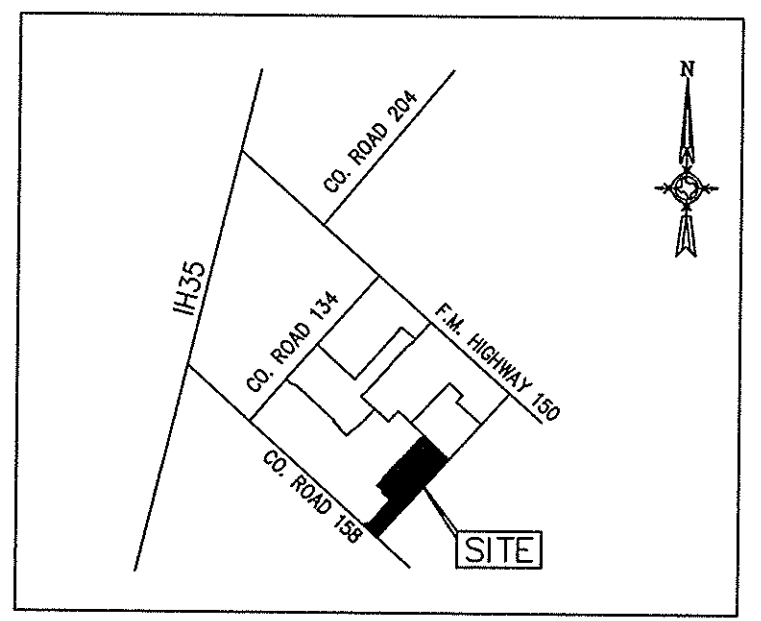
BLOCK	LOT
A	11
H	16
I	22
J	12
K	2
TOTAL	63

ACREAGE: 19.341

DEVELOPER: CONTINENTAL HOMES OF TEXAS, LP
RICHARD MAIER, VICE PRESIDENT
12554 RIATA VISTA
AUSTIN, TEXAS 78727

ENGINEER: ALM ENGINEERING, INC.
2525 WALLINGWOOD DR.,
BUILDING 6, SUITE 600
AUSTIN, TEXAS 78746
(512) 457-0344

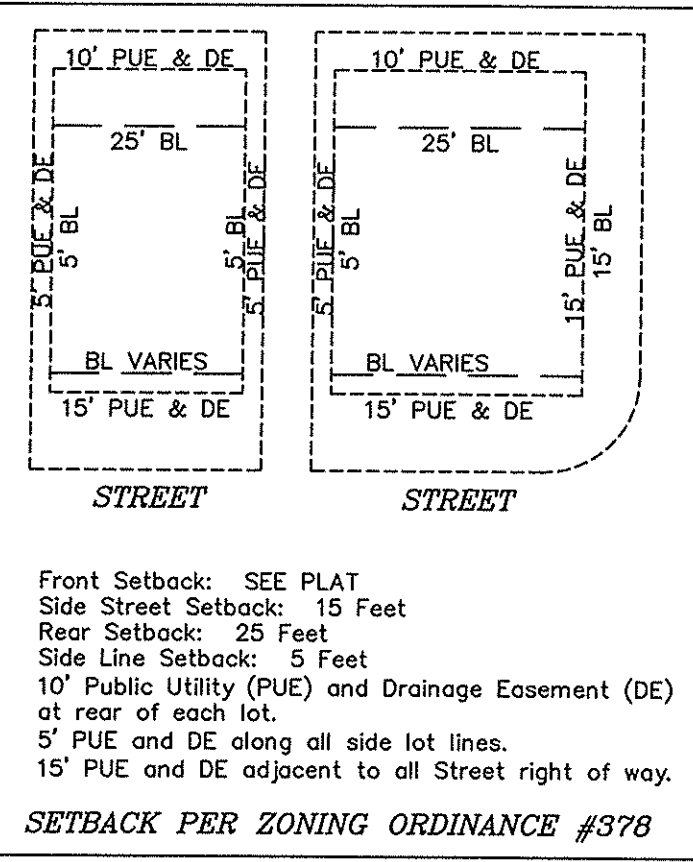
SURVEYOR: DIAMOND SURVEYING, INC.
116 SKYLINE ROAD
GEORGETOWN, TX 78628
(512) 931-3100



LOCATION MAP
N.T.S.

FINAL PLAT
POST OAK SUBDIVISION,
PHASE 4B
19.341 ACRES
CITY OF KYLE, HAYS COUNTY, TEXAS
SHEET 1 OF 2

DIAMOND SURVEYING, INC.
116 SKYLINE ROAD, GEORGETOWN, TX 78628
(512) 931-3100



TYPICAL LOT DETAILS
SCALE 1" = 50'

METES AND BOUNDS DESCRIPTION:

ALL OF THAT CERTAIN 19.341 ACRE TRACT OR PARCEL OF LAND SITUATED IN THE M.B. ATKINSON SURVEY, ABSTRACT NUMBER 21, HAYS COUNTY, TEXAS, AND BEING A PORTION OF THE CALLED _____ ACRE TRACT OF LAND RECORDED IN THE NAME OF CONTINENTAL HOMES OF TEXAS, LP, IN VOLUME _____, PAGE _____ DESCRIBED BY METES AND BOUNDS AS FOLLOWS: (Bearing are based on the recorded plat of Post Oak Subdivision, Phase 4A, Vol. 15, Pg. 67-68, Hays County Plat Records)

BEGINNING at a 1/2-inch iron rod set with cap stamped "DIAMOND SURVEYING" monumenting the most northerly northeast corner of said _____ acre Continental Homes of Texas, LP tract, said iron rod also being on a point in the westerly boundary line of the called 100 acre tract of land recorded in the name of Rex Dale Wiegand and Mary Martha Loewer Wiegand in Volume 1333, Page 333 of the Hays County Official Public Records (H.C.O.P.R.) same being on the most southeasterly corner of Lot 86, Block A, Post Oak Subdivision, Phase 4A, a subdivision recorded in Plat Book 15, Pages 67-68 of the Hays County Plat Records (H.C.P.R.), and from which an iron rod found monumenting the most easterly corner of said Post Oak Subdivision, Phase 4A, bears North 42 degrees 00 minutes 23 seconds East a distance of 790.96 feet;

Thence, with the easterly line of said _____ acre Continental Homes of Texas, LP tract and the westerly line of said 100 acre Wiegand tract, South 42 degrees 00 minutes 23 seconds West, a distance of 1,760.69 feet to an iron rod found on the southeasterly corner of said _____ acre Continental Homes of Texas, LP tract, said iron rod being on the southwesterly corner of said 100 acre Wiegand tract, said iron rod also being on the northerly Right-of-Way (R.O.W.) line of County Road (C.R.) 158;

Thence, with the southeasterly line of said _____ acre Continental Homes of Texas, LP tract and the northerly R.O.W. line of said C.R. 100, North 47 degrees 39 minutes 45 seconds West, a distance of 308.74 feet to a 1/2-inch iron rod set with cap stamped "DIAMOND SURVEYING", and from which a 1/2-inch iron rod found on the most southerly southwest corner of said _____ acre Continental Homes of Texas tract bears North 47 degrees 39 minutes 45 seconds West, a distance of 2,428.80 feet;

Thence, through the interior of said 170.29 acre PO, Ltd. tract the following thirteen (13) courses and distances;

- 1. North 42 degrees 18 minutes 43 seconds East, a distance of 35.00 feet to a 1/2-inch iron rod set with cap stamped "DIAMOND SURVEYING";
2. North 86 degrees 23 minutes 35 seconds East, a distance of 78.71 feet to a 1/2-inch iron rod set with cap stamped "DIAMOND SURVEYING";
3. North 40 degrees 27 minutes 58 seconds East, a distance of 520.20 feet to a 1/2-inch iron set with cap stamped "DIAMOND SURVEYING";
4. North 49 degrees 32 minutes 02 seconds West, a distance of 180.00 feet to a 1/2-inch iron set with cap stamped "DIAMOND SURVEYING";
5. North 40 degrees 27 minutes 58 seconds East, a distance of 34.27 feet to a 1/2-inch iron rod set with cap stamped "DIAMOND SURVEYING";
6. North 47 degrees 40 minutes 48 seconds West, a distance of 133.07 feet to a 1/2-inch iron set with cap stamped "DIAMOND SURVEYING";
7. North 42 degrees 19 minutes 12 seconds East, a distance of 120.00 feet to a 1/2-inch iron set with cap stamped "DIAMOND SURVEYING";
8. North 47 degrees 40 minutes 48 seconds West, a distance of 15.88 feet to a 1/2-inch iron rod set with cap stamped "DIAMOND SURVEYING";
9. North 42 degrees 19 minutes 12 seconds East, a distance of 174.53 feet to a 1/2-inch iron set with cap stamped "DIAMOND SURVEYING";
10. North 48 degrees 11 minutes 14 seconds West, a distance of 10.61 feet to a 1/2-inch iron set with cap stamped "DIAMOND SURVEYING";
11. North 45 degrees 12 minutes 35 seconds East, a distance of 242.53 feet to a 1/2-inch iron set with cap stamped "DIAMOND SURVEYING";
12. North 41 degrees 48 minutes 46 seconds East, a distance of 479.28 feet to a 1/2-inch iron set with cap stamped "DIAMOND SURVEYING";
13. North 46 degrees 33 minutes 06 seconds East, a distance of 119.33 feet to an iron rod found on the northerly line of said _____ acre Continental Homes of Texas, LP tract, said iron rod being the southwesterly corner of Lot 34, Block H of aforesaid Post Oak Subdivision, Phase 4A;

Thence, with the northerly line of said _____ acre Continental Homes of Texas, LP tract and the southerly line of said Post Oak Subdivision, Phase 4A, the following six (6) courses and distances;

- 1. South 48 degrees 06 minutes 23 seconds East, a distance of 115.60 feet to an iron rod found;
2. South 33 degrees 06 minutes 22 seconds East, a distance of 60.97 feet to an iron rod found;
3. South 47 degrees 37 minutes 24 seconds East, a distance of 115.21 feet to an iron rod found;
4. South 47 degrees 44 minutes 24 seconds East, a distance of 114.93 feet to an iron rod found;
5. South 47 degrees 37 minutes 47 seconds East, a distance of 60.04 feet to an iron rod found;
6. South 47 degrees 48 minutes 27 seconds East, a distance of 120.18 feet to the POINT OF BEGINNING and containing 19.341 acres of land, more or less.

STATE OF TEXAS)(
COUNTY OF HAYS)(

I, the undersigned, a Registered Professional Land Surveyor in the State of Texas, hereby certify that this plat is true and correct, that it was prepared from an actual survey of the property made under my supervision on the ground, and that all necessary survey monuments are correctly set or found as shown thereon, and this plat complies with Ordinance #439 of the City Code of Kyle and that all easements of record as found on the title policy or discovered with a title search prepared in conjunction with the most recent purchase of the property are shown hereon.

Shane Shafer September 10, 2012
SHANE SHAFER Date
Registered Professional Land Surveyor No. 5281



STATE OF TEXAS)(
COUNTY OF HAYS)(

KNOW ALL MEN BY THESE PRESENTS:

That, CONTINENTAL HOMES OF TEXAS, LP, owner of _____ acres of land out of the M. B. Atkinson Survey, Abstract No. 21, the R.T. Hughes Survey, Abstract No. 237-???, and the John Jones Survey, Abstract No. 263-???, in Hays County, Texas, and being the tract of land conveyed to CONTINENTAL HOMES OF TEXAS, LP as recorded in Volume _____, Page _____ of the Official Public Records of Hays County, Texas, and does hereby subdivide 19.341 acres of land out of the M. B. Atkinson Survey, Abstract No. 237, out of said _____ acres in accordance with this plat, to be known as POST OAK SUBDIVISION, PHASE 4B and do hereby dedicate to the public ROW, streets, alleys, easements, parks, and other open spaces to public use.

WITNESS MY HAND, this the _____ day of _____, 20____, A.D.

RICHARD MAIER, VICE PRESIDENT
CONTINENTAL HOMES OF TEXAS, LP
12554 RIATA VISTA
AUSTIN, TEXAS 78727

Before me, the undersigned authority on this day personally appeared Richard Maier, known to me to be the person whose name is subscribed to the foregoing instrument, and he acknowledged to me that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

Notary Public, State of Texas

Print Notary's Name
My Commission Expires: _____

I, the undersigned, Director of Public Works of the City of Kyle, hereby certify that this subdivision plat conforms to all requirements of the City of Kyle and hereby recommend approval.

Director of Public Works

This final plat has been submitted to and considered by the Planning and Zoning Commission of the City of Kyle, Texas, and is hereby approved by such Planning and Zoning Commission.

Dated this _____ day of _____, 20____.

Chairperson

I hereby certify that the above and foregoing plat of Post Oak Subdivision, PHASE 4B addition to the City of Kyle, Texas, was approved by the City Council of the City of Kyle on the _____ day of _____, 20____. Said addition shall be subject to all the requirements of the subdivision ordinance of the City of Kyle, Texas.

Witness my hand this _____ day of _____, 20____.

City Secretary

STATE OF TEXAS)(
COUNTY OF HAYS)(

I, the undersigned, City Engineer of the City of Kyle, hereby certify that this subdivision plat conforms to all requirements of the subdivision ordinance and hereby recommend approval.

City Engineer

NOTES

- 1. Front building setback line varies as shown, other building line setbacks shall conform to the current revision of the City of Kyle Zoning Ordinance.
2. On any street corner, within a triangle defined by the property lines and a line joining two points located 20 feet back from the property lines intersection, nothing shall be erected, planted or allowed to grow that impairs vision from three to six feet above the curb line elevation.
3. No objects including buildings, accessory buildings, fencing, or landscaping which would interfere with conveyance of stormwater shall be placed or erected within drainage easements.
4. Property owner shall allow access to drainage and utility easements for inspection, repair, maintenance, and reconstruction as may be necessary.
5. Typical landscape maintenance, cutting and trimming, within this subdivision, all easements and rights of ways to the pavement to be the responsibility of property owners and/or property owners associations.
6. A Fifteen (15) foot PUE is hereby dedicated adjacent to all street ROW, a five (5) foot PUE is hereby dedicated along each side lot line and a seven and ten (10) foot PUE is hereby dedicated adjacent to all rear lot lines on all lots.
7. Sidewalks shall be installed on the subdivision side of Wallops, Jernigan, Ames Cove and Voyager Cove. Those sidewalks not abutting a residential, commercial or industrial lot shall be installed when the adjoining street is constructed. Where there are double frontage lots, sidewalks on the street to which access is prohibited are also required to be installed when the streets in the subdivision are constructed.
8. Prior to construction of any improvements on lots in this subdivision, site development permits and building permits will be obtained from the City of Kyle.
9. No lot may be re-platted into a smaller lot or otherwise reduced in size.

STATE OF TEXAS)(
COUNTY OF HAYS)(

I, the undersigned, a licensed professional engineer in the State of Texas, hereby certify that proper engineering consideration has been given this plat.

No portion of this subdivision lies within the boundaries of the 100 year floodplain as delineated on Hays County FEMA Community Panel No. 480321 0185 E dated February 18, 1998.

Matthew W. Mitchell, Licensed Engineer No. 83335

Date 9-12-2012

ALM ENGINEERING, INC. F3565
2525 Wallingwood Dr., Building 6, Suite 600
Austin, TX 78746



STATE OF TEXAS)(
COUNTY OF HAYS)(

I, Liz Gonzales, Clerk of Hays County, Texas, do hereby certify that the foregoing instrument of Writing and its Certificate of Authentication was filed for record in my office on the _____ day of _____, 20____, A.D., at _____ o'clock ____M., and duly recorded on the _____ day of _____, 20____, A.D. at _____ o'clock ____M., in the Plat Records of said County and State in Plat Book _____, Page(s)_____.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY COURT of said County, the _____ day of _____, 20____, A.D.

Liz Gonzales, County Clerk
Hays County, Texas

FINAL PLAT
POST OAK SUBDIVISION,
PHASE 4B
19.341 ACRES
CITY OF KYLE, HAYS COUNTY, TEXAS
SHEET 2 OF 2

ALM F3565
ENGINEERING, INC.
2525 WALLINGWOOD DR., STE. 600
AUSTIN, TEXAS 78746
(512) 457-0344
FAX (512) 457-0355





CITY OF KYLE, TEXAS

Executive Session-Convene, ETJ Boundary

Meeting Date: 10/2/2012
Date time: 8:30 PM

Subject/Recommendation: Convene into Executive Session pursuant to Section 551.071, Tex. Government Code, Consultation with the City Attorney to discuss the Extraterritorial Jurisdiction Boundary and Land Swap with the City of San Marcos

Other Information:

Budget Information:

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download



CITY OF KYLE, TEXAS

Executive Session-Reconvene, ETJ Boundary

Meeting Date: 10/2/2012
Date time: 8:30 PM

Subject/Recommendation: Reconvene into Open Session to Take Action as Deemed Appropriate in the City Council's Discretion regarding the Extraterritorial Jurisdiction Boundary and Land Swap with the City of San Marcos

Other Information:

Budget Information:

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download



CITY OF KYLE, TEXAS

ACC

Meeting Date: 10/2/2012
Date time: 8:30 PM

Subject/Recommendation: Austin Community College - Hays Campus (SD-12-014)
96.115 acres; 1 Lot
Located at 1200 Kohlers Crossing
Applicant: Austin Community College District
Agent: Debra Sappington - Gensler
~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the Site Plan with Conditions outlined in Staff Report.

- *Public Hearing*

Other Information: Please see attachments

Budget Information: N/A

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

- [Site Plan](#)
 - [Landscape Plan](#)
 - [Location Map](#)
 - [Staff Report](#)
-

MEMORANDUM

TO: City Council

FROM: Sofia Nelson, Planning Director

DATE: September 27, 2012

SUBJECT: Site Development Permit
Austin Community College- Hays Campus

Background

Planning and Zoning Commission Recommendation: On September 25th the Planning and Zoning Commission unanimously recommended approval of the site development permit conditional on all outstanding engineering comments being addressed.

Location:

The subject property is located at the southeast corner of FM 1626 and Kohlers Crossing, and is approximately 96.115 acres. The property is part of the Plum Creek Planned Unit Development District (PUD) and has a zoning designation of Employment.

Proposal:

The applicant is requesting approval of a site development permit for the first phase of the ACC- Hays County campus. The proposed development area is approximately 19.6 acres and will consist of a three story academic building with site work and parking.

Utilities:

Water and wastewater service will be provided by the City of Kyle.

Drainage:

The site plan submittal has included a site grading and drainage plan as well as a stormwater reuse pond plan.

STAFF ANALYSIS AND RECOMMENDATION

Purpose of Application:

A site development plan provides detailed graphic information indicating property boundaries, easements, land use, streets, utilities, drainage, off-street parking, lighting, signage, landscaping, vehicle and pedestrian circulation, open spaces, and general conformance with the master plan and ordinances of the city.

Analysis:

This is an undeveloped site and the applicant is proposing to construct an approximately 91,105 square foot academic building facility. Staff has reviewed the site plan for compliance with the Plum Creek zoning ordinance and site development requirements and it appears that all requirements are satisfied with some

outstanding Engineering and Public Works comments still needing to be addressed. The outstanding Engineering and Public Works comments relate to stormwater calculations, however will not change the site layout as shown in the attached site plan. **Staff is recommending approval conditional on all outstanding engineering comments being addressed.**





Austin Community College District Hays Campus

1200 Koblars Crossing
Kyle, Texas 78640

General Place
711 Lexington Street
Suite 200
Ft. Worth, TX 76102
Tel: 713.844.0000
Fax: 713.844.0021

Gensler

113 Lavaca Street
Suite 400
Austin, TX 78701
Tel: 312.587.8100

Civil Engineer Consultant
Urban Design Group
3000 Stony Brook
Austin, TX 78746
Tel: 512.507.0545
Tx Fax: 512.478.8143

Landscaping Architect Consultant
Gardens & Reservoirs
806 Stone Mountain Drive
Austin, TX 78727
Tel: 512.471.2523

Structural Engineer Consultant
Jensen Construction, LP
1222 East 18th Street, Suite 100
Arling, TX 76010
Tel: 512.474.9354

MER Engineer Consultant
Shelton, B. Associates, Inc.
120 South Loop West, Suite 275
Austin, TX 78704
Tel: 512.471.2424

Technology II Consultant
Cable Connect Group
11802 24th Road, Suite 170
San Antonio, TX 78218
Tel: 512.456.7227

Technology III Consultant
Jensen Technology, Inc.
238 W. 14th Street
Edgingdale, TX 78725
Austin, TX 78745
Tel: 512.524.1122

Technology Security Consultant
BIS Security Consulting
2211 E. 22nd, Suite 512
Austin, TX 78718
Tel: 512.855.5148

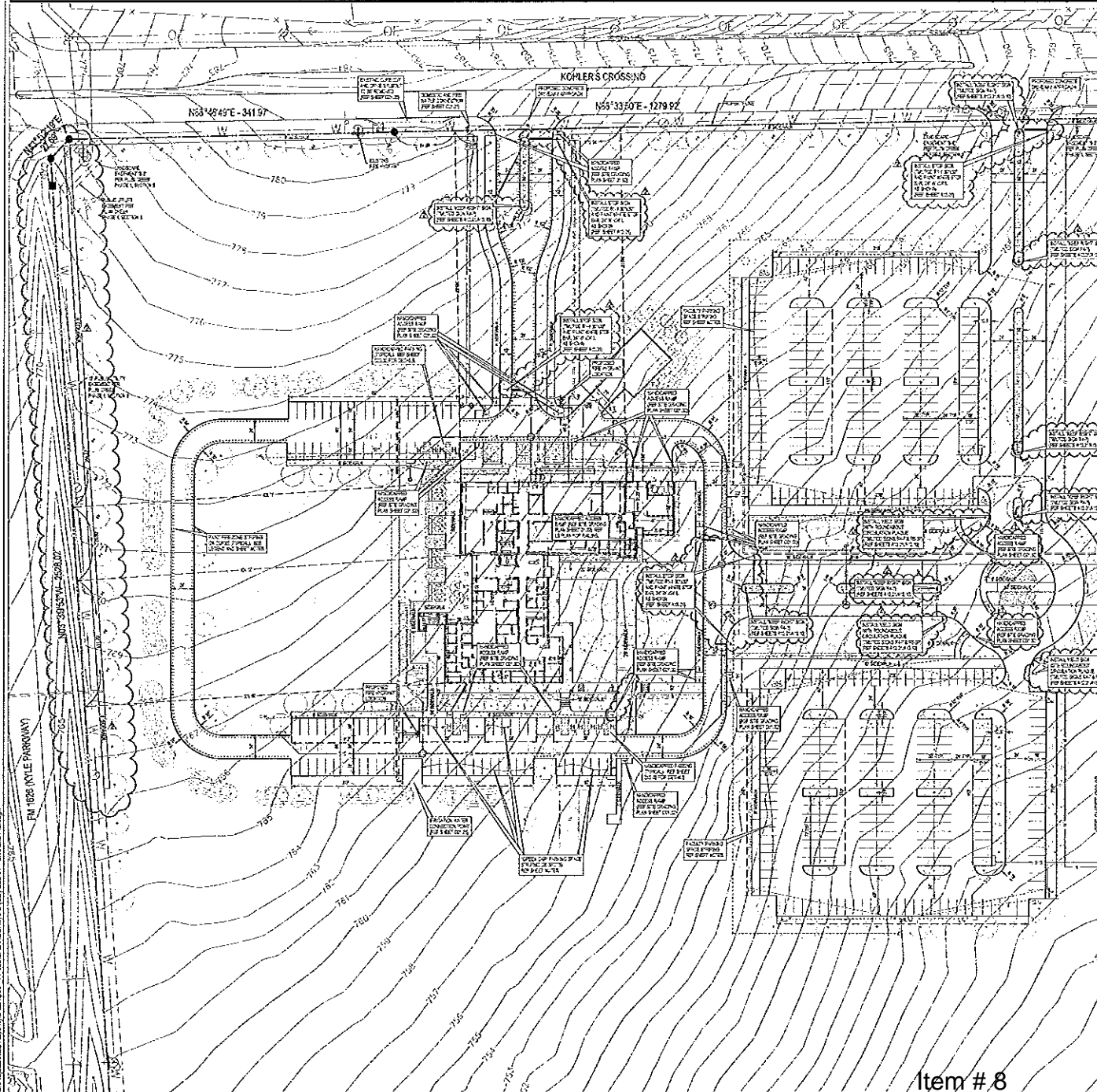
Roofing Consultant
The Dallas Roof Company
P.O. Box 203725
Austin, TX 78720
Tel: 512.352.2028

Rev	Date	Description
-	07.24.2019	ISSUE FOR PERMIT AND CONSTRUCTION
A	08.15.2019	REVISIONS
A	08.22.2019	BULLETIN 1
A	08.23.2019	BULLETIN 2

KEY NOTES

LEGEND

SHEET NOTES



1. EXISTING UTILITIES SHOWN ARE THE PROPERTY OF THE UTILITY OWNERS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

2. ALL FOUNDATION FOOTINGS SHALL BE CONCRETE ON A 4" SAND BED. ALL FOUNDATION WALLS SHALL BE CONCRETE ON A 4" SAND BED. ALL FOUNDATION WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.

3. ALL EXTERIOR WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.

4. ALL EXTERIOR WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.

5. ALL EXTERIOR WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.

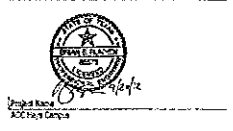
6. ALL EXTERIOR WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.

7. ALL EXTERIOR WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.

8. ALL EXTERIOR WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.

9. ALL EXTERIOR WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.

10. ALL EXTERIOR WALLS SHALL BE FINISHED WITH INTERIOR FINISHES.



James R. Kline
ACC Hays Campus

Project Number
02/24/20

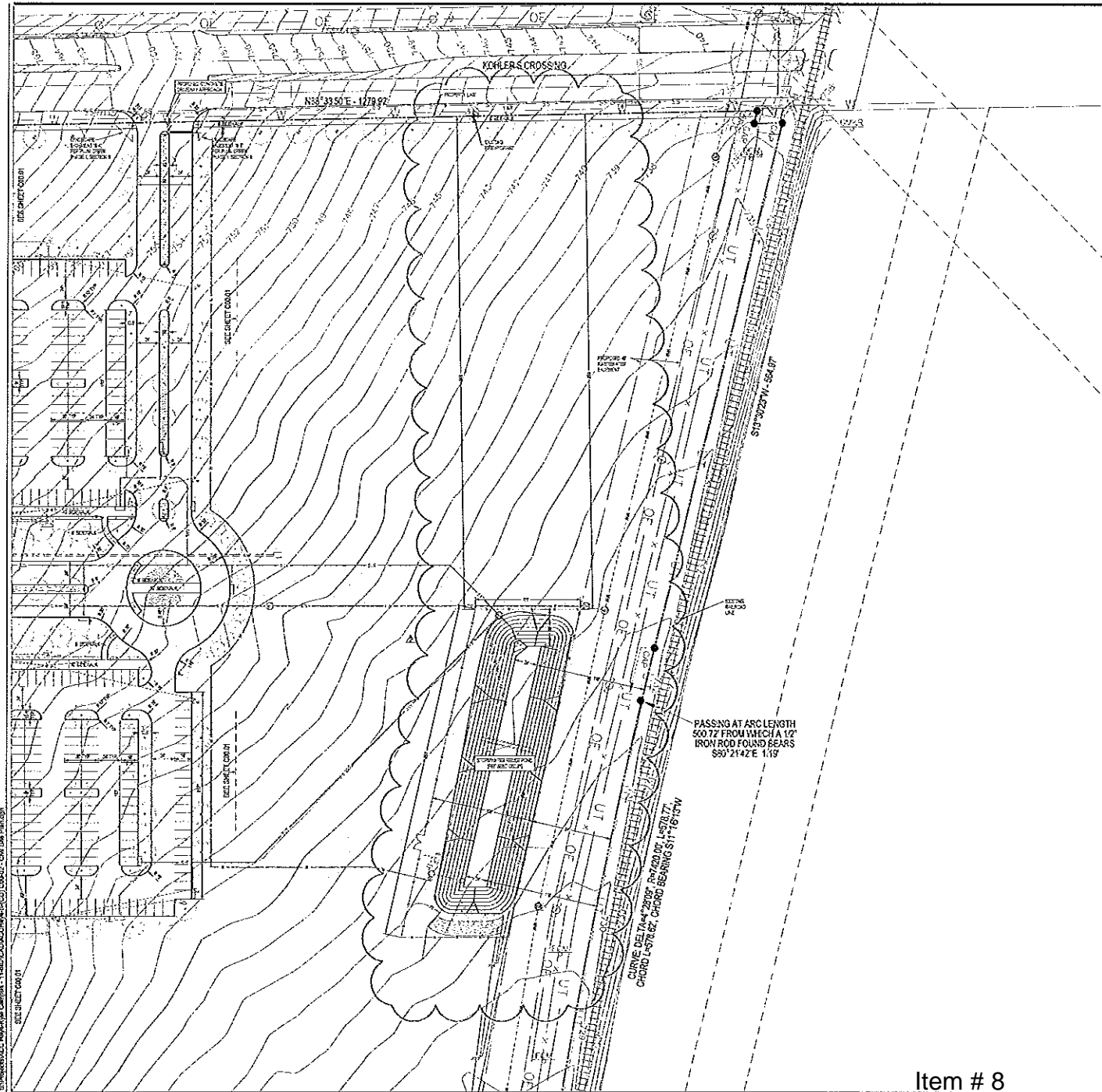
Description
CIVIL SITE PLAN



Scale
1" = 10'

C00.01


Item # 8



KEY NOTES

LEGEND

SHEET NOTES



**Austin Community
College District
Hays Campus**

1200 Kobblers Crossing
Kyle, Texas 78640

General Place
711 Leocadia Street
Suite 250
Austin, TX 78702
Tel: 787.544.0600
Fax: 787.544.0601

Gensler
213 Lavaca Street
Suite 320
Austin, TX 78701
Tel: 512.257.5100

Civil Engineer Consultant Urban Design Group 3605 Storage Drive Austin, TX 78759 Tel: 512.340.0503 TX Reg No: Exp. 1/15/14	Landscape Architect Consultant Collins & Associates 3008 State Highway 67 Austin, TX 78723 Tel: 512.478.5568
Structural Engineer Consultant Jester Outwater, LP 1121 East 8th Street, Suite 100 Austin, TX 78703 Tel: 512.478.9264	MEP Engineer Consultant Stan Smith & Associates, Inc. 154 East 8th Street, Suite 305 Austin, TX 78702 Tel: 512.465.6454
Technology (IT) Consultant Combs Consulting Group 11235 Hill Road, Suite 270 San Antonio, TX 78249 Tel: 214.538.7882	Technology (IT) Consultant JACOBS Technologies, Inc. 226 E. 6th Street Suite 1110, Suite 120 Austin, TX 78702 Tel: 512.322.0232
Technology Security Consultant ACS Security Consulting 6718 Mayfield Drive, Suite 512 Austin, TX 78755 Tel: 512.322.0400	Roaming Consultant J&S Wireless Solutions PO Box 205208 Austin, TX 78720 Tel: 512.209.0029

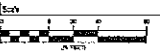
Rev.	Date	Description
01	07.24.2010	ISSUED FOR PERMIT AND CONSTRUCTION
02	03.22.2010	BULLETIN 2

Project Name
ACC Hays Campus


Project Number
07234.000

Description
CIVIL SITE PLAN

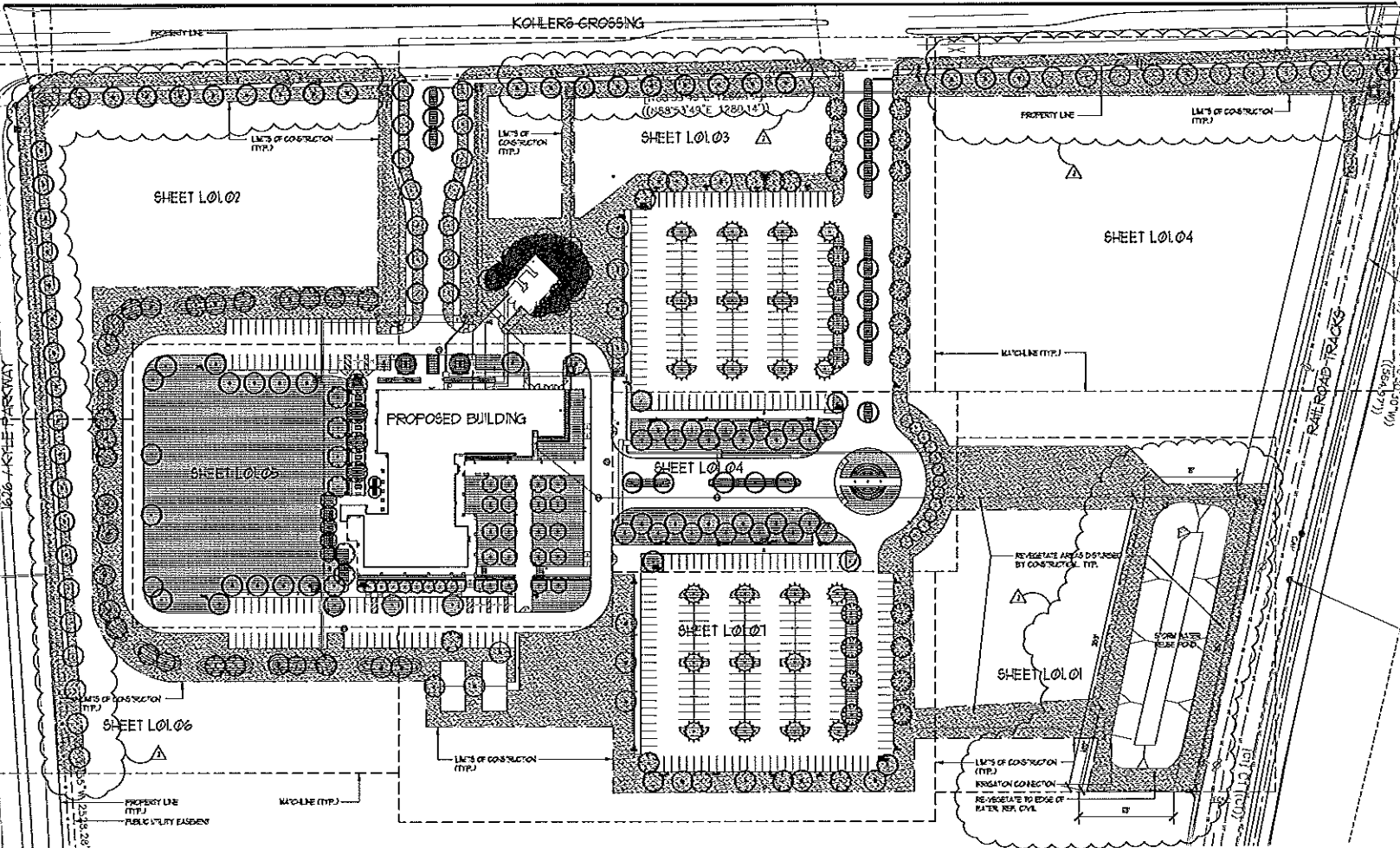
Scale



C00.02



S:\Projects\ACC Hays Campus - 11426750\JACOBS\Project\SSCD\2010-07-24\Site Plans\Site Plan Sheet 0001.dwg



PLANT SCHEDULE

NO.	SYM.	COMMON NAME (LARGE OR SMALL)	SIZE	PLANT	HEIGHT	SPACING
01	(Symbol)	COLEUS VARIEGATUS (LARGE)	12" G.A.	04	4'-8" O.C.	16" H.C.
02	(Symbol)	ALICE'S BURNING BUSH (MEDIUM)	12" G.A.	04	8'-0" O.C.	16" H.C.
03	(Symbol)	ARISA (SMALL)	6" G.A.	04	4'-0" O.C.	16" H.C.
04	(Symbol)	BRIDGES (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
05	(Symbol)	COLEUS (LARGE)	12" G.A.	04	8'-0" O.C.	16" H.C.
06	(Symbol)	CHERRY BLOSSOM (MEDIUM)	12" G.A.	04	8'-0" O.C.	16" H.C.
07	(Symbol)	CHERRY BLOSSOM (LARGE)	12" G.A.	04	8'-0" O.C.	16" H.C.
08	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
09	(Symbol)	CHERRY BLOSSOM (VERY SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
10	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
11	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
12	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
13	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
14	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
15	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
16	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
17	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
18	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
19	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
20	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
21	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
22	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
23	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
24	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
25	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
26	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
27	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
28	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
29	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.
30	(Symbol)	CHERRY BLOSSOM (SMALL)	6" G.A.	04	2'-0" O.C.	16" H.C.

FINISH SCHEDULE

NO.	SYM.	DESCRIPTION	THICKNESS	TYPE
01	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
02	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
03	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
04	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
05	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
06	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
07	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
08	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
09	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
10	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
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12	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
13	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
14	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
15	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
16	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
17	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
18	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
19	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
20	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
21	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
22	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
23	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
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25	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
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27	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
28	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
29	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE
30	(Symbol)	CONCRETE SLAB ON GRADE	4" MIN.	CONCRETE



LEED NOTE:

PER LEED REQUIREMENTS MATERIALS MAY COME FROM A SOURCE THAT IS WITHIN 500 MILES OF THE PROJECT SITE.

MATERIALS AND RESOURCES - REGIONAL MATERIALS - SOURCED FROM OR GROWN AND MANUFACTURED FROM WITHIN 500 MILES OF A PROJECT SITE

A. 1/4" A/C# - TOP SOIL (ENTIRE) SEED # 5000 (OR SPEC. 33 17 00)
 B. 1/4" A/C# - DRAINAGE (OR FILLER) TOP SOIL, PLANTS, TREES, MULCH, BARSIT GRAVEL, 1' DEPOSITED GRANITE (OR SPEC. 33 05 00)

ACC

Austin Community College District
Hays Campus
 1200 Kohlers Crossing
 Kyle, Texas 78649

Gensler

Project Manager
 711 Lavaca Street
 Suite 310
 Houston, TX 77002
 Tel: 713 644 6000
 Fax: 713 644 0011

212 Lavaca Street
 Suite 300
 Austin, TX 78701
 Tel: 512 837 4100

Civil Engineer Consultant
 Gensler Group
 3605 Riverside Drive
 Austin, TX 78746
 Tel: 512 447 0000

Structural Engineer Consultant
 James G. Smith & Associates, Inc.
 900 West 11th Street, Suite 100
 Austin, TX 78703
 Tel: 512 476 0000

Technology IT Consultant
 Compu Consulting Group
 11000 Mays Road, Suite 273
 San Antonio, TX 78240
 Tel: 214 560 7507

Technology Security Consultant
 RSI Security Consulting
 6705 Mayfield Drive, Suite 500
 Austin, TX 78748
 Tel: 512 465 9100

Landscaping Architect Consultant
 Gensler & Associates
 8600 54th Mountain Drive
 Austin, TX 78727
 Tel: 512 476 2500

MEP Engineer Consultant
 Smith & Associates, Inc.
 1940 South 13th, Suite 303
 Austin, TX 78704
 Tel: 512 467 6400

Technology IT Consultant
 Tech Consulting
 225 West 21st Street
 Austin, TX 78701
 Tel: 512 520 5100

Building Consultant
 Am Wilson Staff Consultants
 PO Box 210655
 Austin, TX 78721
 Tel: 512 200 0209

REV.	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & CONSTRUCTION
1	08.13.2012	ADD EXHIBIT A
2	09.20.2012	BULLETIN #2

Signature

Project Name
 ACC Hays Campus

Project Number
 CLP 157 00

Designer
 DEWANE REBERSON/AMR

Scale
 NONE

L01.01

© 2012 Gensler

Item # 8

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT QUALITIES, THE PLANT SCHEDULE B FOR THE CONTRACTOR'S CONVENIENCE ONLY.



**Austin Community College District
Hays Campus**

1200 Kohlers Crossing
Kyle, Texas 78640

Personnel Files
711 Lucanica Street
Suite 330
Houston, TX 77062
Tel: 713 844 6666
Fax: 713 844 6644

Gensler

212 Lavaca Street
Suite 330
Austin, TX 78701
Tel: 512 451 4159

Civil Engineer Consultant
Chris Gensler Group
3005 Stone Age Drive
Austin TX 78758
Tel: 512 451 4159

Landscape Architect Consultant
Cohen & Associates
8600 32nd Avenue Drive
Austin TX 78757
Tel: 512 473 2090

Structural Engineer Consultant
Jenior Outwater LP
600 West 2nd Street, Suite 100
Austin TX 78701
Tel: 512 474 8754

MEP Engineer Consultant
S&B S&B Associates, Inc.
1900 East 11th Street, Suite 203
Austin TX 78754
Tel: 512 461 4624

Technology II Consultant
Combi Consulting Group
1330 84th Street, Suite 773
San Antonio, TX 78203
Tel: 210 658 7567

Technology III Consultant
J&C Tech Systems, Inc.
235 196 South Road
Building A, Suite 211
Austin TX 78748
Tel: 512 323 1120

Technology Security Consultant
833 Security Consulting
6705 Hwy 290 East, Suite 112
Austin TX 78758
Tel: 512 662 4632

Printing Consultant
J&C Tech Systems, Inc.
PO Box 300265
Austin TX 78759
Tel: 512 323 0399

Rev #	DATE	DESCRIPTION
1	07/24/2012	ISSUE FOR PERMIT & CONSTRUCTION
2	09/22/2012	BULLETIN #2

Lead Signatory



Project Name
ACC Hays Campus

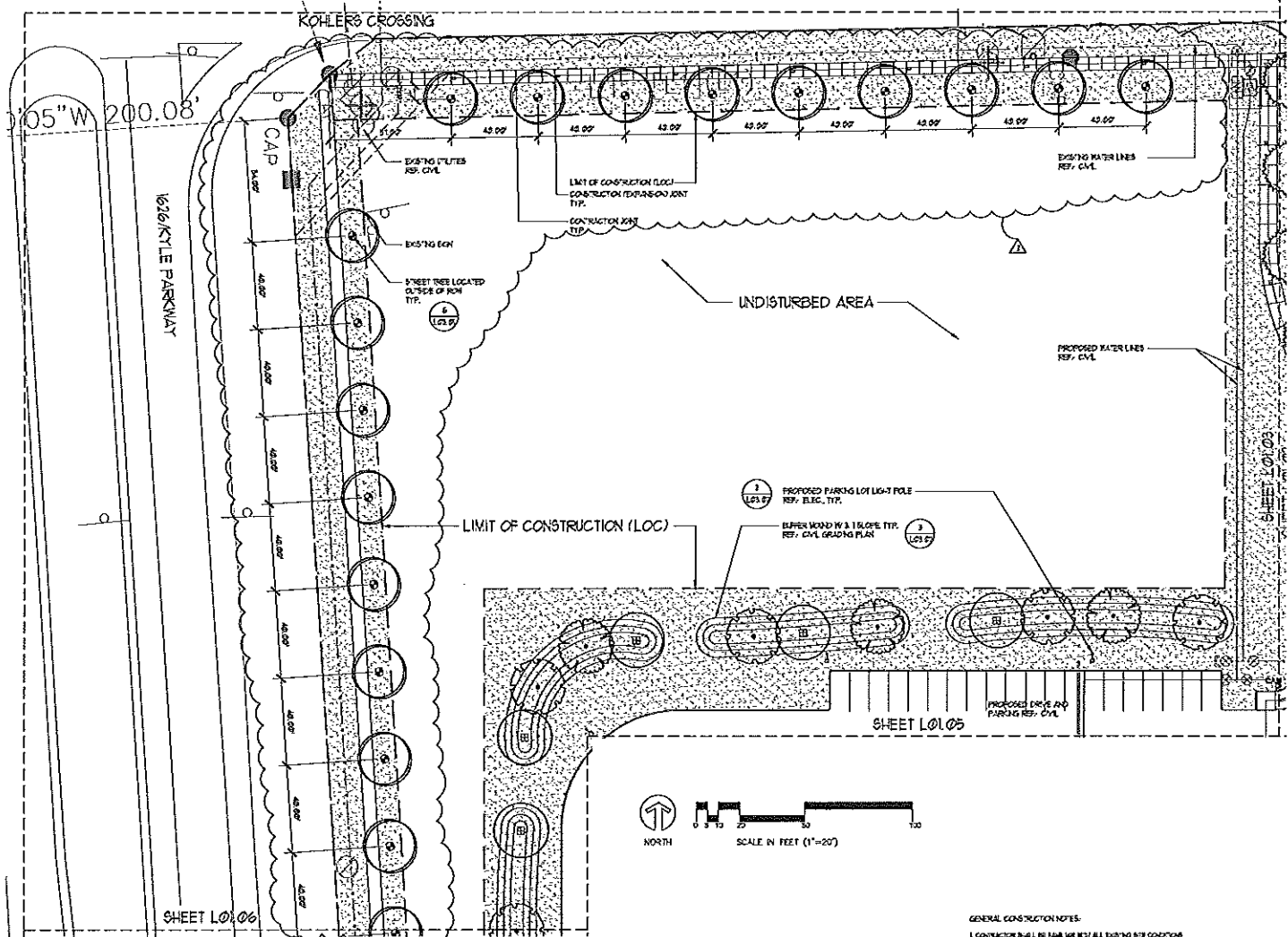
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133-270300 - CIVIL/PLANT

Drawn by
LAWRENCE PEAN

Scale
NTP 1

L01.02

© 2012 Gensler



SHEET L01.06

SHEET L01.05



SYMBOL	COMMON NAME / BOTANICAL NAME
	ALLIE LACE BARK ELM / ULMUS PARVIFOLIA VALLE
	ARDISIA CRESS / CUPRESSUS ARDISIA
	BARK OAK / QUERCUS MOENCHIANA
	CEDAR ELM / ULMUS CRASSIFOLIA
	CHINESE PARASOL TREE / PARASOL GARDENS
	CHINQUAPIN OAK / QUERCUS MOENCHIANA
	DRAKE ELM / ULMUS PARVIFOLIA DRAKE
	DWARF LIVE OAK / QUERCUS VIRGINICA DWARF
	LOBLOLLY CYPRESS / CUPRESSUS FLORIDANA

	MEXICAN SPICE TREE / FRAXINUS MEXICANA
	MEXICAN SPICE TREE / FRAXINUS MEXICANA
	HONEY OAK / QUERCUS POLYMORPHA HONEY
	NATCHEZ ORANGE MYRTLE / LASERSTROEMIA INDICA NATCHEZ
	RED OAK / QUERCUS REDUA
	SOUTHERN LIVE OAK / QUERCUS VIRGINICA
	SOUTHERN LIVE OAK / QUERCUS VIRGINICA
	SOUTHERN LIVE OAK / QUERCUS VIRGINICA
	WHITE GRAPE MYRTLE MULTI-TRUNK / LASERSTROEMIA INDICA WHITE

SYMBOL	COMMON NAME / BOTANICAL NAME
	BLUEBERRY / VACCINIUM SPECIES
	ELM / ULMUS SPECIES
	CANNA / CANNA TROPICANA
	DWARF SOUTHERN WAX MYRTLE / MYRTLE SPECIES
	DWARF PALM TREE / CASUAL PALM
	DWARF YUCCA / LEUCOPHYLLA YUCCA
	GULF MYRTLE / MYRTLE SPECIES
	ISLAND SEA OATS / CHASMANTHUM LATIFOLIUM
	KNOCK OUT ROSE / ROSA RUBRA KNOCK OUT
	MEXICAN FEATHER GRASS / MEXICAN GRASS
	RED YUCCA / YUCCA SPECIES
	ROSE / ROSA SPECIES
	YELLOW BELL / YUCCA SPECIES

GENERAL CONSTRUCTION NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, PIPES AND PROFILES. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND/OR ANY WORK ACCORDING TO THE DAMAGE OF OTHERS PROPERTY ON SAID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES PRIOR TO ANY EXCAVATION TO AVOID UTILITIES ARE NOT DEPICTED. EXTREME CARE SHALL BE EXERCISED IN EXCAVATION AND WORKING NEAR EXISTING UTILITIES. REFER TO CIVIL DRAWINGS FOR GENERAL REFERENCE.
- ANY CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR THE LANDSCAPE ARCHITECT SHALL ADVISE THAT THE CONTRACTOR HAS INCORPORATED THE PLANS AS DRAWN AND SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR SUBCONTRACTORS ACCOMPLISHMENT OF THEIR SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- CONTRACTOR SHALL VERIFY INFORMATION TO INCLUDE PROPERTY LINE, EASEMENTS, EASEMENTS, ROADWAY CURB AND GUTTER AND OTHER INFORMATION AFFECTING THE SCOPE OF WORK ON THESE DRAWINGS. BASE INFORMATION FOR LOCATIONS OF PROPERTY LINES, EASEMENTS, EASEMENTS, EASEMENTS AND EASEMENTS SHALL BE OBTAINED FROM CIVIL ENGINEERING DRAWINGS. REFER TO CIVIL ENGINEERING DRAWINGS FOR ANY ADDITIONAL INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANTING AREAS TO HAVE POSITIVE DRAINAGE TO EXISTING DRAINAGE SYSTEMS.
- WHERE DIMENSIONS ARE CALLED AS VERTICAL, ALL REFERENCED ITEMS SHALL BE SPACED EQUALLY, MEASURED FROM THEIR CENTER LINES.
- CONTRACTOR TO COORDINATE LIGHT POLE / SECURITY POLE LOCATIONS WITH CIVIL, ELECTRICAL AND SECURITY DRAWINGS. FIELD VERIFY LOCATION ON SITE PRIOR TO LAYOUT OR INSTALLATION.

Item # 8



Austin Community College District
Hays Campus

1200 Kohlers Crossing
Kyle, Texas 78640

Financial Exec
711 Loveland Street
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Fax: 713.844.0001

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Tel: 512.857.8100

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Austin, TX 78703
Tel: 512.442.6254

Landscape Architect Consultant
Gensler & Associates
9605 New Mountain Drive
Austin, TX 78727
Tel: 512.442.6250

Structural Engineer Consultant
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Tel: 512.442.6254

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25444 Jones Road
Austin, TX 78748
Tel: 512.851.5624

Technology IT Consultant
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10225 W. 17th Street, Suite 105
San Antonio, TX 78257
Tel: 210.688-7807

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JedTech Technologies, Inc.
25444 Jones Road
Austin, TX 78748
Tel: 512.851.5624

Technology Security Consultant
WIS Security Consulting
6715 May 29th Street, Suite 202
Austin, TX 78723
Tel: 512.853.3430

Roofing Consultant
Shoemaker Roof Consultants
PO Box 20025
Austin, TX 78720
Tel: 512.853.3430

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

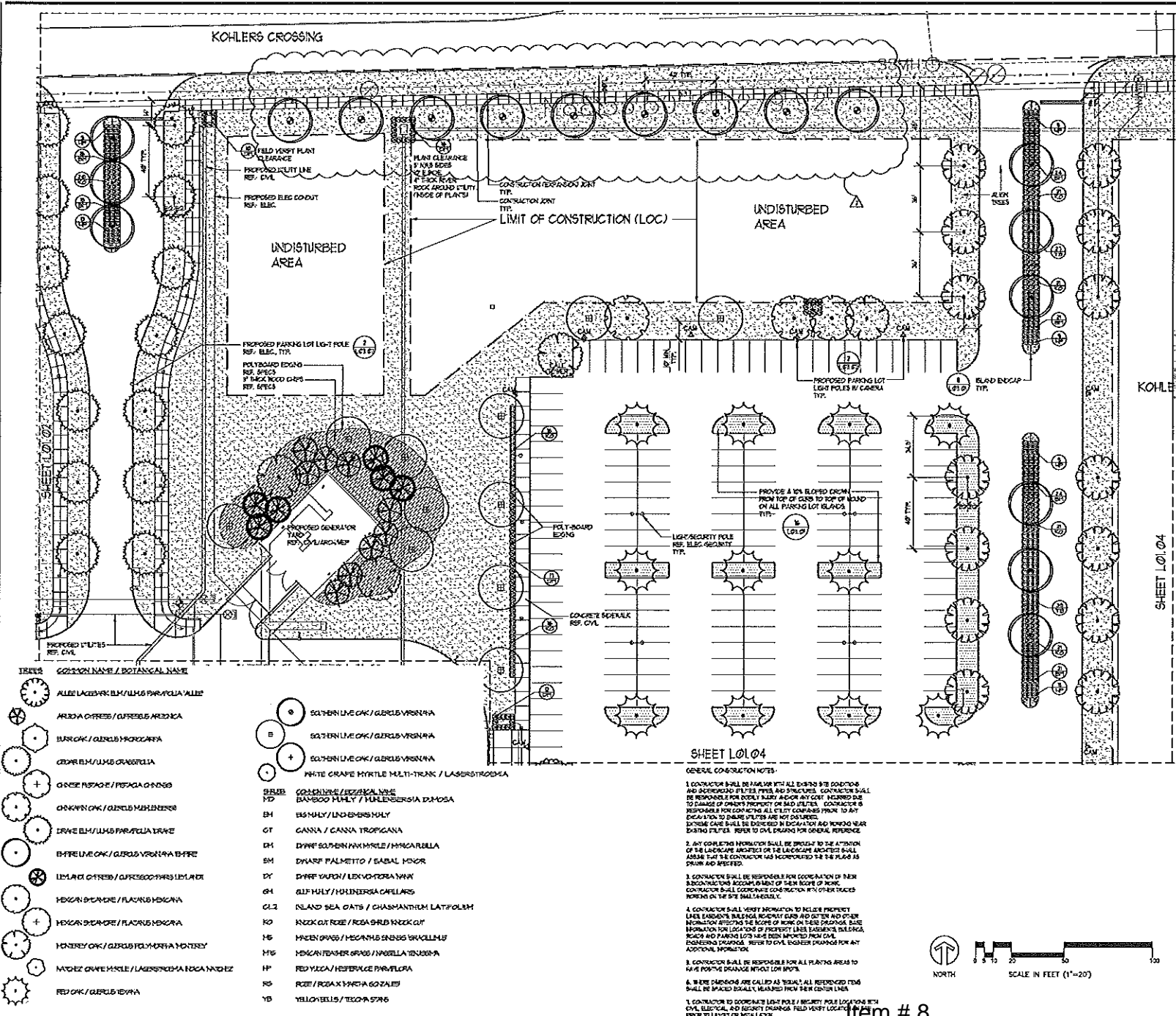
REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
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REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2

REV #	DATE	DESCRIPTION
-	07.24.2012	ISSUE FOR PERMIT & EXCESS UTILITY
1	08.13.2012	ADDENDUM A
2	09.23.2012	BULLETIN #2



TREES	COMMON NAME / BOTANICAL NAME
1	ALLEE LACEBARK / ELM / ULMUS PARVIFLUA 'ALLEE'
2	ARIDIA OYSTERSH / OYSTERIA ARIDICA
3	BURNING BUSH / EUONYMUS ALATUS
4	CELESTINE / EUPHORBIA CELESTINE
5	CHINESE WAXWOOD / FICUS CHINENSIS
6	CHINA OAK / QUERCUS MELIENSES
7	DRIVE / ELM / ULMUS PARVIFLUA 'DRIVE'
8	EFFRE / LIVE OAK / QUERCUS VERNA 'EFFRE'
9	LELAND / OYSTERSH / OYSTERIA LELANDI
10	HONG KONG / PLATANUS HONGKONGENSIS
11	HONG KONG / PLATANUS HONGKONGENSIS
12	MONTICELLO / OAK / QUERCUS POLYMORPHA 'MONTICELLO'
13	WAXWOOD / FICUS CHINENSIS
14	RED YEW / TAXUS MEDIA 'RED YEW'
15	YELLOW BELLS / TAXUS SPYRUS

SHRUBS	COMMON NAME / BOTANICAL NAME
16	BANQUO / PALM / TRAVELER'S TREE / BENTHAMIDA BANQUO
17	BURNING BUSH / EUONYMUS ALATUS
18	CANNON / CANNA TROPICANA
19	DWARF SOUTHERN PALM / HAWAIIAN PALM / HAWAIIAN PALM
20	DWARF PALMETTO / SAGITTARIA PALMETTO
21	DWARF PALMETTO / SAGITTARIA PALMETTO
22	GLIMP / HAWAIIAN PALM / HAWAIIAN PALM
23	ISLAND SEA OATS / CHASMANTHUM LATIFOLIUM
24	KOON / ROSE / ROSA SHUB / KOON CUT
25	MEXICAN GRASS / MEXICAN GRASS / MEXICAN GRASS
26	MEXICAN GRASS / MEXICAN GRASS / MEXICAN GRASS
27	RED YEW / TAXUS MEDIA 'RED YEW'
28	ROSE / ROSA X YEMSA 'GOZALE'
29	YELLOW BELLS / TAXUS SPYRUS

SHEET L01.04

GENERAL CONSTRUCTION NOTES:

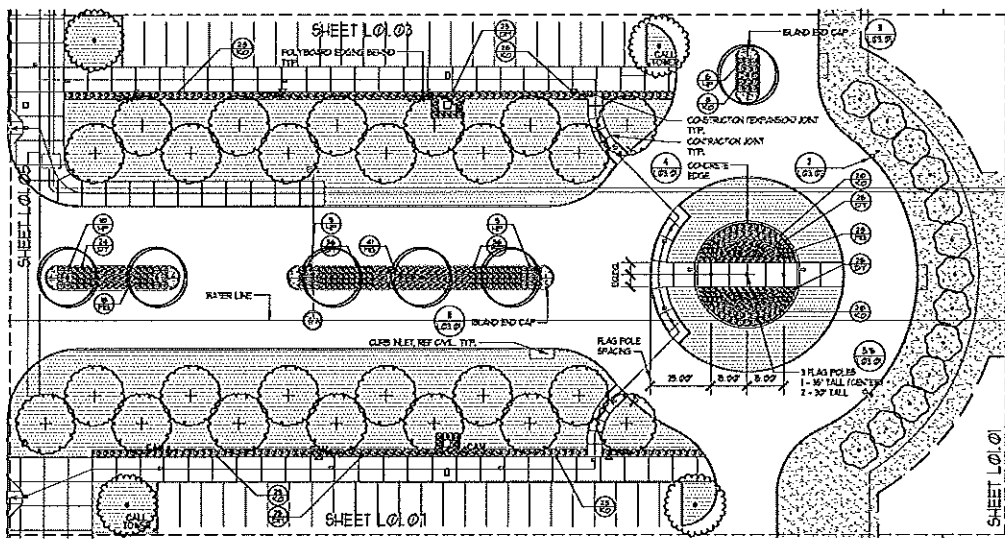
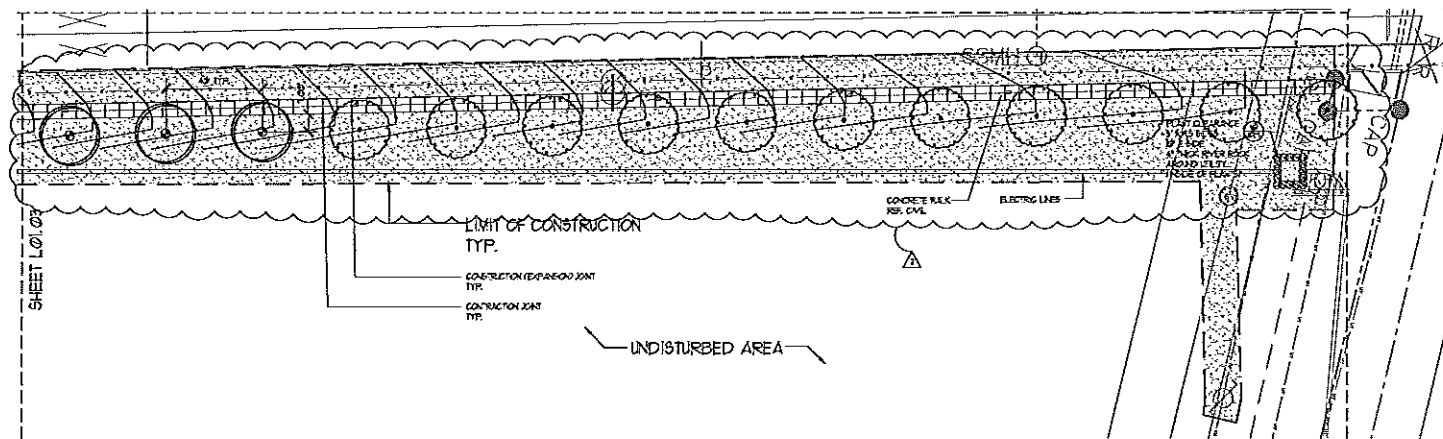
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCESS SITE CONDITIONS AND IMPROVEMENTS TO TREES AND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCESS UTILITY AND/OR ANY COST INCURRED DUE TO DAMAGE TO OWNER'S PROPERTY OR ADJACENT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CITY COMPLIANCE PRIOR TO ANY EXCAVATION TO EXCESS UTILITIES ARE NOT SHOWN. EXCESS UTILITY SHALL BE EXPOSED BY EXCAVATION AND REPAIR TO EXISTING UTILITIES. REFER TO CIVIL DRAWING FOR GENERAL REFERENCE.
- ANY EXCESS UTILITY SHALL BE PROTECTED BY THE ATTENTION OF THE LANDSCAPE ARCHITECT OR THE LANDSCAPE ARCHITECT SHALL ADVISE THAT THE CONTRACTOR HAS ACCEPTED THE EXCESS UTILITY AS SHOWN AND SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR SUBCONTRACTORS' WORK WITHIN THE SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRACED WORKS ON THE SITE SHALL BE RESPONSIBLE.
- CONTRACTOR SHALL VERIFY INFORMATION TO INCLUDE PROPERTY LINE, EXCESS UTILITY, EXCESS UTILITY AND OBTAIN AND OBTAIN INFORMATION ATTEMPTING THE SCOPE OF WORK ON THESE DRAWINGS. EXCESS UTILITY INFORMATION FOR PROPERTY LINE, EXCESS UTILITY, EXCESS UTILITY AND PROPERTY LINE HAS BEEN IMPORTED FROM CIVIL ENGINEERING DRAWINGS. REFER TO CIVIL ENGINEERING DRAWINGS FOR ANY ADDITIONAL INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANTING AREAS TO HAVE POSITIVE DRAINAGE WITHOUT LOW SPOTS.
- IF TREE PARASITES ARE CALLED AS "PARASITE" ALL REFERENCED TREES SHALL BE TRACED REGULARLY NEAR AND FROM THE ROOTING LINES.
- CONTRACTOR TO COORDINATE LIGHT POLES / SECURITY POLES LOCATION WITH CIVIL, ELECTRICAL, AND SECURITY DRAWINGS. FIELD VERIFY LOCATION PRIOR TO LAYOUT OR INSTALLATION.



Item # 8

L01.03

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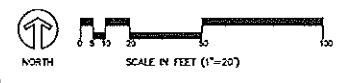


- TREES**
- | COMMON NAME / BOTANICAL NAME |
|---|
| ALICE LACEBARK BLM / ULMUS THURIFOLIA WILDF |
| ARIZONA CYPRESS / CUPRESSUS ARIZONICA |
| BURR OAK / QUERCUS MACROCARPA |
| CEDRAR BLM / ULMUS CRASSIFOLIA |
| GREEN PINEAPPLE / PISONIA GRENENSIS |
| GRAND OAK / QUERCUS GRANDIFLORA |
| DRY WOOD BLM / ULMUS FRAXINOLIA DRYWOOD |
| EMPIRE LINE OAK / QUERCUS VIRGINIANA EMPIRE |
| LEMON OAK / QUERCUS LYONSII LEMON OAK |
| MOHAWK OAK / QUERCUS MOHAWK |
| HONEY OAK / QUERCUS POLYMOCHA HONEY |
| HONEY OAK / QUERCUS POLYMOCHA HONEY |
| RED OAK / QUERCUS TEXANA |
| SOUTHERN LINE OAK / QUERCUS VIRGINIANA |
| SOUTHERN LINE OAK / QUERCUS VIRGINIANA |
| SOUTHERN LINE OAK / QUERCUS VIRGINIANA |
| WHITE GRAPE MYRTLE MULTI-TRUNK / LASENUS |

- | COMMON NAME / BOTANICAL NAME |
|--|
| BIG MULBERRY / MORUS NIGRA |
| BIG MULBERRY / MORUS NIGRA |
| CANNA / CANNA TROPICANA |
| DWARF EQUISSETUM MYRTLE / MISCANTHUS |
| DWARF PALMETTO / SABAL MINOR |
| DWARF YUCCA / YUCCA FLORIDANA |
| GULF MULBERRY / MORUS NIGRA GULF |
| INLAND SEA OATS / CHASMANIUM LATIFOLIUM |
| ROCK OAK / QUERCUS LAEVOLOBATA |
| WAXEN GRASS / MISCANTHUS SINENSIS BRACHYLOPH |
| MOHAWK TEA TREE / MIMOSA MOHAWK |
| RED YUCCA / YUCCA FLORIDANA |
| ROSE / ROSA HYBRIDA |
| YELLOW BELLS / BELLA PERENNIS |

GENERAL CONSTRUCTION NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY LOCATIONS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL UTILITY LOCATIONS FROM ALL APPLICABLE AGENCIES. REFER TO CIVIL DRAWING FOR GENERAL REFERENCE.
- ANY EXISTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL UTILITY LOCATIONS FROM ALL APPLICABLE AGENCIES. REFER TO CIVIL DRAWING FOR GENERAL REFERENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR SUBCONTRACTORS' WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE. SHALL BE RESPONSIBLE.
- CONTRACTOR SHALL VERIFY INFORMATION TO INSURE PROPER PLANTING. CONTRACTOR SHALL VERIFY INFORMATION TO INSURE PROPER PLANTING. CONTRACTOR SHALL VERIFY INFORMATION TO INSURE PROPER PLANTING. CONTRACTOR SHALL VERIFY INFORMATION TO INSURE PROPER PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANTING AREAS TO HAVE PROPER DRAINAGE INSTALLED ON SPOTS.
- WHERE DIMENSIONS ARE CALLED AS EQUALS, ALL REFERENCED ITEMS SHALL BE SPACED EQUALLY, MEASURED FROM THEIR CENTER LINES.



1. CONTRACTOR TO COORDINATE LIGHT POLE / SECURITY POLE LOCATION WITH CIVIL, ELECTRICAL, AND MECHANICAL ENGINEERS. REFER TO UTILITY LOCATION ON SITE PRIOR TO INSTALLATION.

Item # 8



**Austin Community College District
Hays Campus**

1200 Kieblers Crossing
Kyle, Texas 78640

Gensler

Principal Office
711 Lexington Street
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Tel: 512.347.4000

Landscape Architect Consultant
Cokran & Associates
9000 S. Mopac Expressway
Austin, TX 78717
Tel: 512.478.2950

Structural Engineer Consultant
James G. Goff, Inc.
1000 West 10th Street, Suite 100
Austin, TX 78703
Tel: 512.478.4000

MEP Engineer Consultant
S&S S&S & Associates, Inc.
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Austin, TX 78703
Tel: 512.478.4000

Technology IT Consultant
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11000 West 10th Street, Suite 100
Austin, TX 78703
Tel: 512.478.4000

Technology IT Consultant
J&K Technology, Inc.
2200 West 10th Street, Suite 100
Austin, TX 78703
Tel: 512.478.4000

Technology Security Consultant
M&S Security Consulting
1100 West 10th Street, Suite 100
Austin, TX 78703
Tel: 512.478.4000

Energy Consultant
J&K Technology, Inc.
2200 West 10th Street, Suite 100
Austin, TX 78703
Tel: 512.478.4000

REV	DATE	DESCRIPTION
1	07/24/2012	ISSUE FOR PERMIT & CONSTRUCTION
2	08/13/2013	AS-BUILT
3	09/20/2012	BAULETTING

Project Name
ACC Hays Campus

Project Number
L01.00

Scale
AS SHOWN

L01.04

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**Austin Community College District
Hays Campus**

1200 Kohlers Crossing
Kyle, Texas 78640

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114 Encina Street
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Landscaping Architect Consultant
Gensler & Associates
5500 S. Mopac Expressway
Austin, TX 78747
Tel: 512.796-2000

Structural Engineer Consultant
James G. Gorman, LP
5500 Mopac Blvd., Suite 100
Austin, TX 78758
Tel: 512.414-6224

MEP Engineer Consultant
S&B Systems & Associates, Inc.
1908 South Park Ave. #201
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Combi Consulting Group
10328 Park Lakes, Suite 270
San Antonio, TX 78258
Tel: 214.658-7827

Technology IV Consultant
Jarcen Technologies, Inc.
225 The South Shore
Easting, A, Suite 201
Austin, TX 78748-2001
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RIS Security Consulting
8779 May 26th Court, Suite 332
Austin, TX 78758
Tel: 512.858-5530

Roofing Consultant
J&M Roofing & Construction
PO Box 23825
Austin, TX 78720
Tel: 512.820-0999

REV #	DATE	DESCRIPTION
1	07.24.2010	ISSUE FOR PERMIT & CONSTRUCTION
2	09.20.2012	BULLETIN #2

Seal Signature



Project Name
ACC Hays Campus

Project Number
144-1130-001

Description
LANDSCAPE PLAN

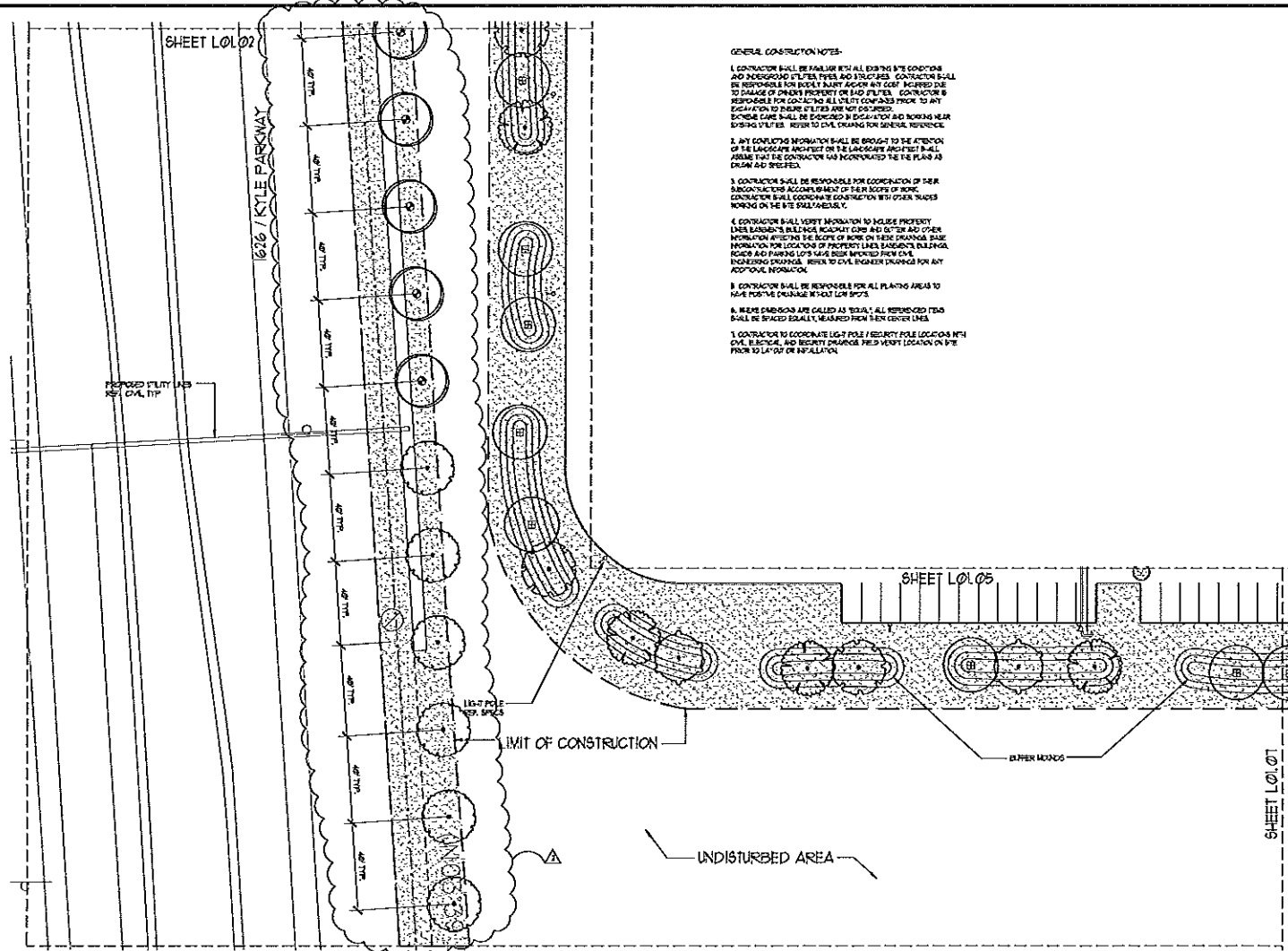
Scale
1/4"=1'

L01.06

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GENERAL CONSTRUCTION NOTES:

- CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES PRIOR TO ANY EXCAVATION TO BE DONE IN ORDER TO AVOID DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES PRIOR TO ANY EXCAVATION TO BE DONE IN ORDER TO AVOID DAMAGE TO EXISTING UTILITIES. REFER TO CIVIL DRAWING FOR GENERAL REFERENCE.
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- CONTRACTOR TO COORDINATE LIGHT POLE / SECURITY POLE LOCATIONS WITH CIVIL, ELECTRICAL AND SECURITY DRAWINGS. FIELD VERIFY LOCATION ON SITE PRIOR TO LAYOUT OR INSTALLATION.



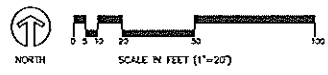
TREES

COMMON NAME / BOTANICAL NAME
ALICE LACINARIA / <i>ULMUS PARVIFLORA</i> ALICE
ARBOREA CYPRESS / <i>CUPRESSUS ARBOREA</i>
BARK OAK / <i>QUERCUS MOERICANA</i>
CEDRAR OAK / <i>ULMUS CRASSIFOLIA</i>
GRAND PINE / <i>PISTACIA GINENSIS</i>
GRAND OAK / <i>QUERCUS MUMMERSII</i>
DRIVE OAK / <i>ULMUS PARVIFLORA</i> DRIVE
EMERALD OAK / <i>QUERCUS VIRGINICA</i> EMERALD
LELAND CYPRESS / <i>CUPRESSUS PARVIFLORA</i>

YEXON'S OAK / <i>QUERCUS YEXONIA</i>
YEXON'S OAK / <i>QUERCUS YEXONIA</i>
HONKEY OAK / <i>QUERCUS POLYMERHA</i> HONKEY
WAGNER GRAPE MYRTLE / <i>LASERSONIA INDICA</i> WAGNER
RED OAK / <i>QUERCUS TEXANA</i>
SOUTHERN OAK / <i>QUERCUS VIRGINICA</i>
SOUTHERN OAK / <i>QUERCUS VIRGINICA</i>
SOUTHERN OAK / <i>QUERCUS VIRGINICA</i>
WHITE GRAPE MYRTLE MULTI-TRUNK / <i>LASERSONIA INDICA</i>

SHRUBS

COMMON NAME / BOTANICAL NAME
BAMBOO MULLY / <i>PHYLLOCLADUS DUMOSA</i>
BUSHY / <i>LYNDEN</i> BUSHY
CANNA / <i>CANNA TROPICANA</i>
DWARF SOUTHERN PINK MYRTLE / <i>MIRICA RUBRA</i>
DWARF PALMETTO / <i>SABAL MINOR</i>
DWARF YAUDE / <i>LEUCOPHYLLA NANA</i>
GULF MULLY / <i>HOLOBERBERIA CAPILLARS</i>
INLAND SEA OATS / <i>CHASCHANTHUM LATIFOLIUM</i>
KNOCK OUT ROSE / <i>ROSA RUBRA</i> KNOCK OUT
MOON GRASS / <i>HECANTHUS GREENS</i> BRILLIANT
MOON PEPPER GRASS / <i>PAEONIA YEXONIA</i>
RED YUCCA / <i>HESPERALOE PARVIFLORA</i>
ROSE / <i>ROSA YEXONIA</i> GORAZZI
YELLOW BELLS / <i>TRICHOPSYDAS</i>



Item # 8



CITY OF KYLE, TEXAS

First Baptist Church

Meeting Date: 10/2/2012
Date time: 8:30 PM

Subject/Recommendation: First Baptist Church (SD-12-015)
1.66 acres; 1 Lot
Located at 400 W. Center Street
Applicant: First Baptist Church
Agent: Javier Barajas, P.E.
~ Sofia Nelson, Director of Planning

Planning and Zoning Commission voted 7-0 to approve the site plan with conditions and variance request as outlined in staff report

- *Public Hearing*
- *Act on Request for an exception to non-conformities - non-conforming building*

Other Information: Please see attachments

Budget Information: N/A

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

- [Variance Request Letter](#)
- [Site Plan](#)
- [Landscape Plan](#)
- [Location Map](#)
- [Staff Report](#)

MEMORANDUM

TO: City Council

FROM: Sofia Nelson, Planning Director

DATE: September 27, 2012

SUBJECT: Site Development Permit
First Baptist Church

Background

Planning and Zoning Commission Action: On September 25th the Planning and Zoning Commission unanimously recommended approval of the site development permit and the request for an exception to a nonconformity conditional on all outstanding engineering and public works comments being addressed.

Summary of Request:

The subject property is located at 400 W. Center Street and 110 N. Nance Street. Both properties are under the ownership of the First Baptist Church. The applicant is proposing to redevelop both sites. 400 W. Center Street (the southeast corner of Lockhart and Sledge Street) into a two story religious education facility, and 110 N. Nance Street into parking lot to serve the First Baptist Church facility.

Drainage:

Both the City Engineer and the applicant's engineer have concluded that the runoff caused from the development of a parking lot and religious education building will not cause any adverse impact to downstream properties.

Access

The applicant is proposing additional parking along the Sledge ROW as well as improving the on-street parking on Nance Street.

Utilities

The site is served by the City of Kyle for water and wastewater service.

Landscape

The site has some existing trees that will be used for credit to comply with landscape requirements. The applicant has provided a landscape plan showing the location of existing landscape and proposed plants.

STAFF ANALYSIS**Purpose of Application:**

A site development plan provides detailed graphic information indicating property boundaries, easements, land use, streets, utilities, drainage, off-street parking, lighting, signage, landscaping, vehicle and pedestrian circulation, open spaces, and general conformance with the master plan and ordinances of the city.

Comprehensive Master Plan Guidance:

The subject property is located in the Old Town Community future land use district. The urban design plan identifies this property to be located within the urban core. As a result of its location the following guidance is provided:

- Maintain continuity in the general use of materials within any block
- Make every effort to expand the sidewalk pedestrian space with outdoor restaurants or other gathering spaces for sales or display
- Promote vertical mixed land uses where possible
- Maintain a building to line that is located at the edge of the sidewalk spaces and place parking behind the buildings.

In order to maintain the building line that is established with rest of the site the applicant is requesting the extension of a nonconformity to allow for a 5' side and front building line rather than the required 15' setback. As shown in the attached site plan the applicant has provided a potential layout for head-in parking spaces along Sledge Street within the public right-of-way. Because the parking is located within the public-right-way the parking could be used by other's and would not be solely limited to patrons of the First Baptist Church.

Staff has reviewed the requests and recommends approval conditional on all outstanding engineering and public works comments being addressed.



July 23, 2012

CITY OF KYLE

JUL 23 2012

Ms. Sofia Nelson, Director of Planning
City of Kyle Planning Department
100 W. Center Street
Kyle, Texas 78640

PLANNING DEPARTMENT

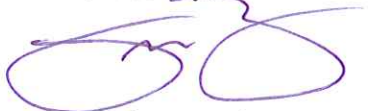
RE: Variance Request from City of Kyle Ordinance Article 438, Chart 1

Dear Ms. Nelson:

On behalf of the First Baptist Church, Landmark CES, PLLC is requesting a variance from City Ordinance Article 438, Chart 1. This request is to allow the placement of the proposed building within the 15' setback line as outlined for CBD1 Zoning. The proposed placement would be 5' off of the property line. Justification for this request is that the 5' setback would allow for the alignment of the existing church with the proposed building, and, most importantly, provide the proposed separation between these buildings needed to meet fire safety code requirements for a non-sprinklered building.

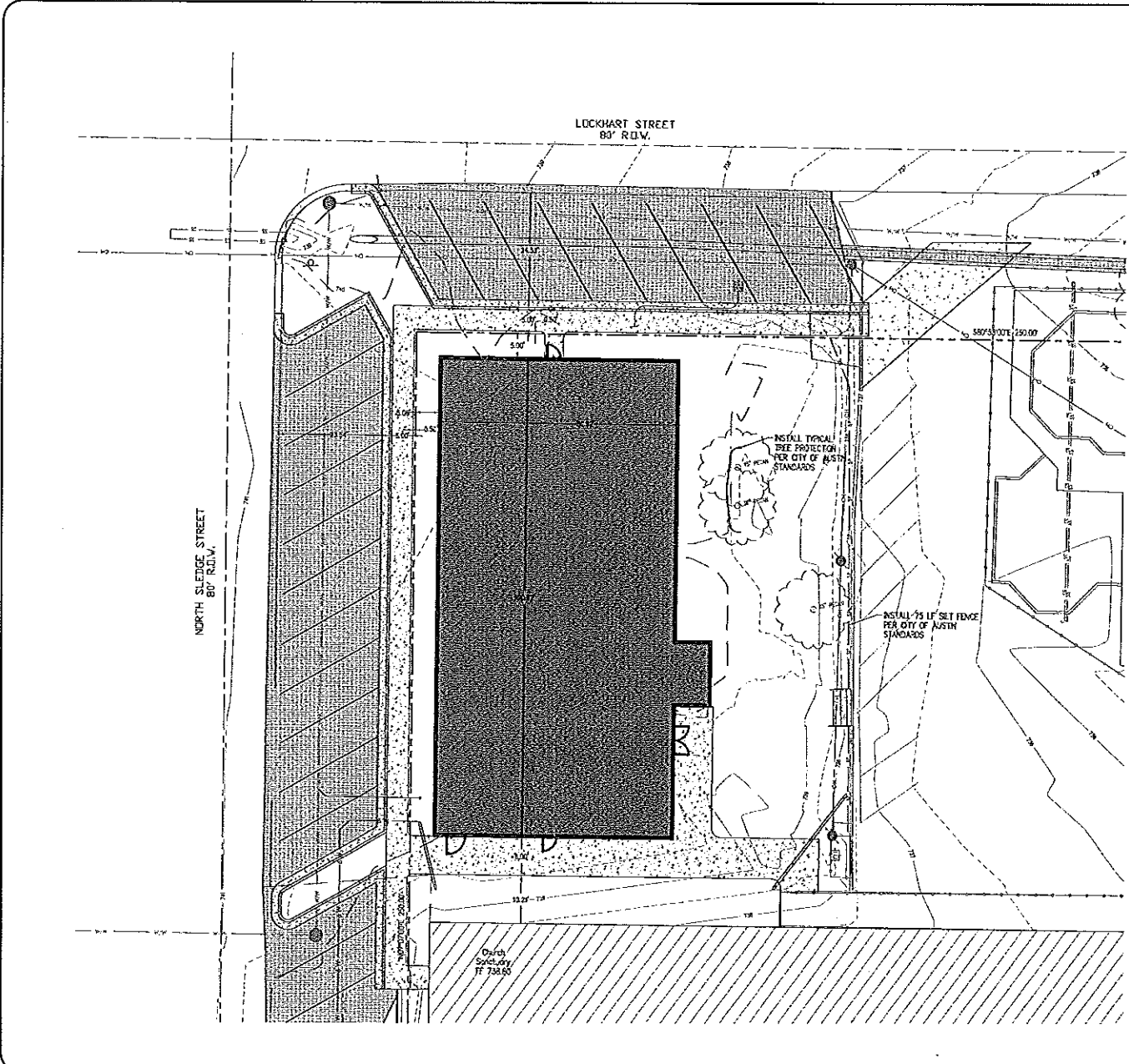
Should you have any questions or require additional information with regard to this variance request, please feel free to contact me. I may be reached at (512) 913-5080 or by email at jbarajas@landmarkces.com.

Sincerely,



Javier Barajas, P.E.

Item # 9



NO.	REVISION/DATE	DATE

OWNER:
 FIRST BAPTIST CHURCH
 AN 11110 E. W. STREET
 KYLE, TEXAS 75142
 (210) 284 1011

Landmark CES
 CIVIL ENGINEERING SERVICES, PLLC
 11110 E. W. STREET
 KYLE, TEXAS 75142
 (210) 284 1011

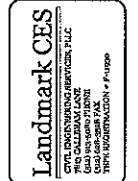
FIRST BAPTIST CHURCH
 KYLE, TEXAS
EDUCATION BUILDING - SITE AND EROSION CONTROL PLAN

DATE: AUGUST 2012
 PROJECT NO.: 1
 SHEET
 7 OF 15

NO.	DATE
1	9/13/12
UNLESS OTHERWISE NOTED, ALL MEASUREMENTS SHALL BE FROM THE CENTERLINE OF THE PROPERTY LINE.	
NO. _____ DATE _____	
UNLESS OTHERWISE NOTED, ALL MEASUREMENTS SHALL BE FROM THE CENTERLINE OF THE PROPERTY LINE.	
NO.	DATE

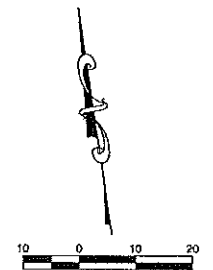
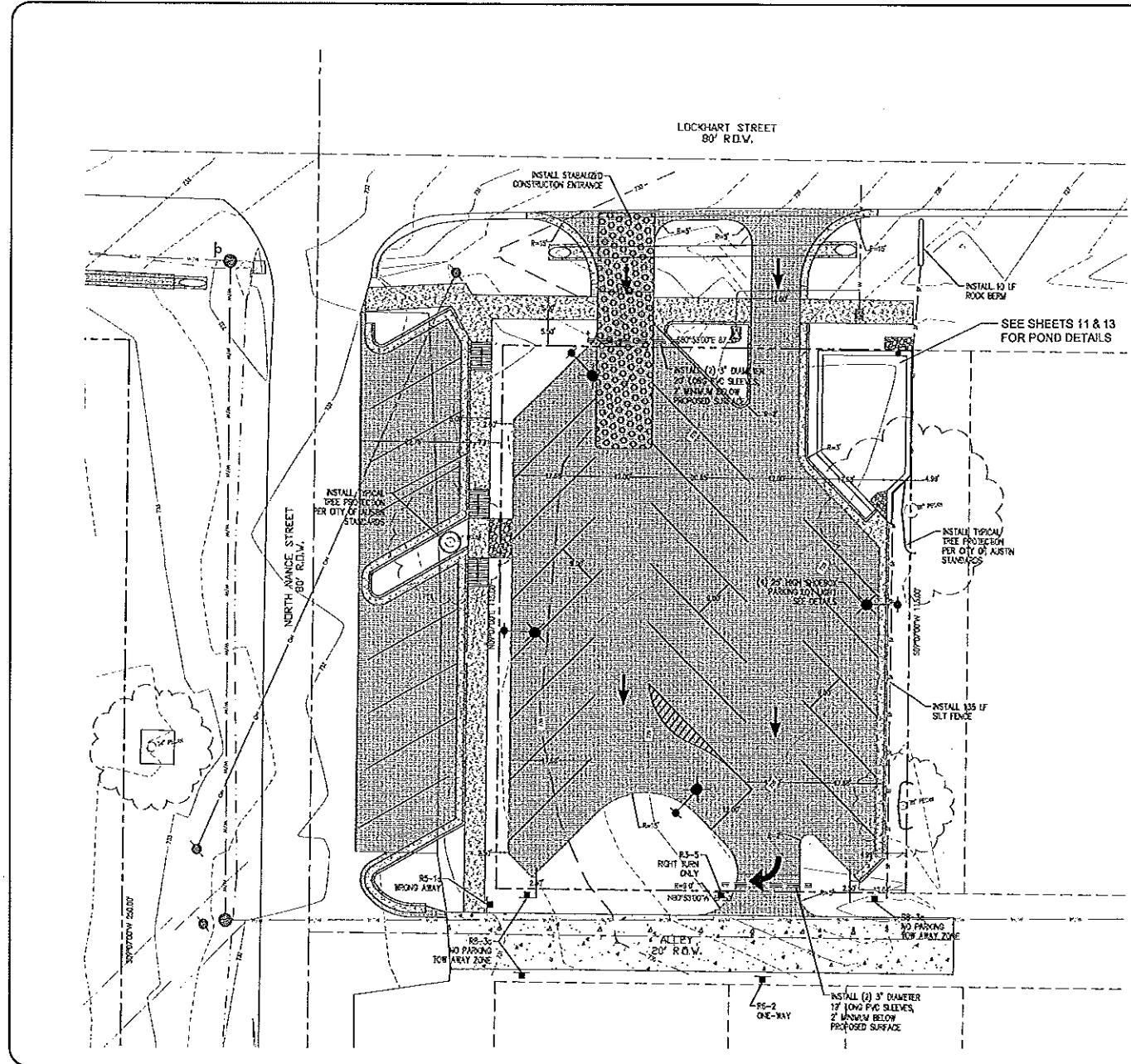


0.9300
 DRAWN BY: GREG GARDNER
 CHECKED BY: KYLE SQUIRES
 DATE: 09/13/12



FIRST BAPTIST CHURCH
 KYLE, TEXAS
**PARKING LOT - SITE AND
 EROSION CONTROL PLAN**

DATE: AUGUST 2012
 PROJECT NO.: 1
SHEET
 8 OF 15



LEGEND
 - - - - - PROPERTY LINE
 --- SILT FENCE
 --- TREE PROTECTION
 --- STABILIZED CONSTRUCTION ENTRANCE

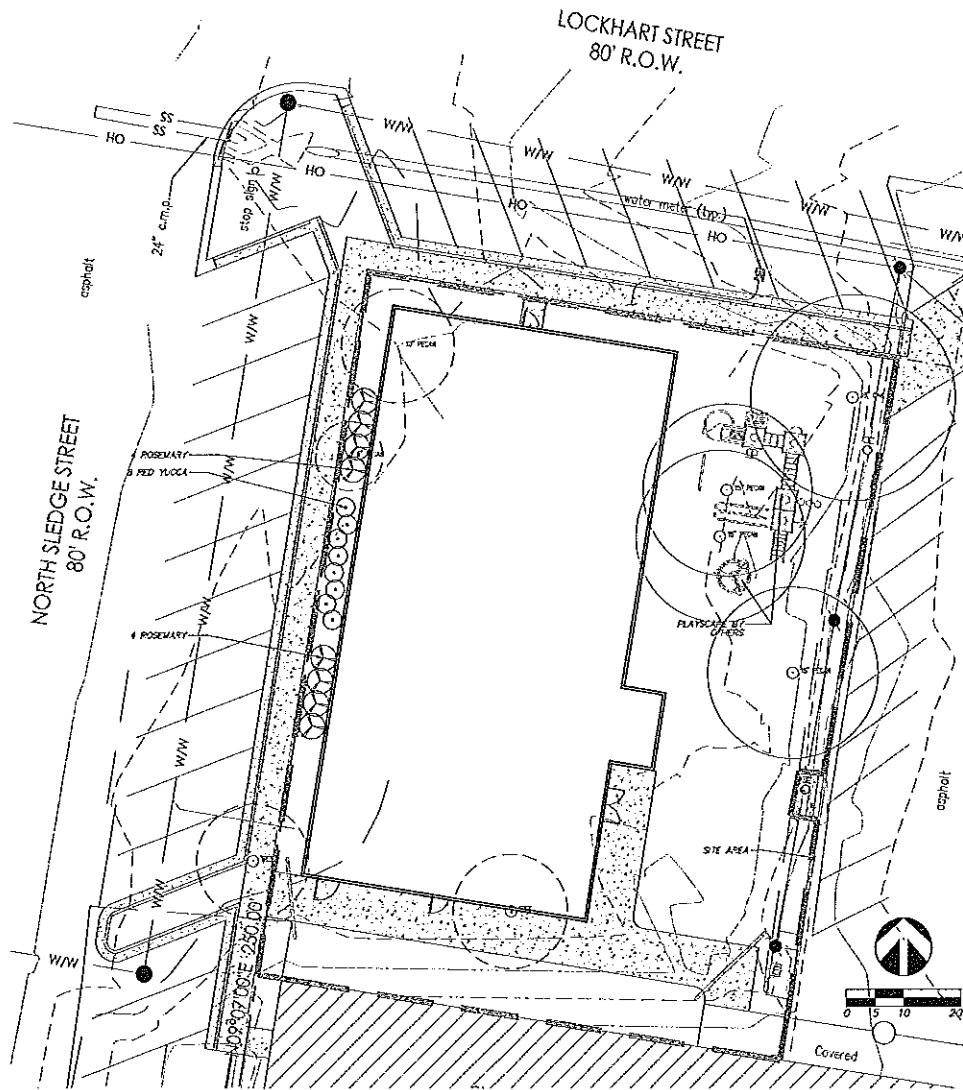
NOTES

1. LOCATION OF BUILDING BUILDING CORNERS SHALL BE LOCATED WITH COORDINATES BASED ON COMPUTER FILE AND CONTROLLED BY SURVEYOR AND ARCHITECT PRIOR TO ANY FOUNDATION BEING POURED. DIMENSIONS SHOWN HEREON SHALL SERVE AS A CHECK DISTANCE ONLY.
2. ALL CURBS ON ASRS MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT AND/OR EDGE OF PAVEMENT TO FACE OF CURB.
3. ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
4. DIMENSIONS MEASURED IN FEET.
5. ALL DIMENSIONS OF CURBS AND ELEVATIONS ADJACENT TO BUILDING SHALL BE VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE SAME SHALL BE DONE FOR ALL DOOR LOCATIONS.
6. ALL PARKING STALLS ARE ANGLED PARKING.
7. ALL LIGHTING SHALL BE DELIVERED SO THAT SUBSTANTIALLY ALL EMITTED LIGHT FALLS WITHIN THE PROPERTY LINE OF THE PROPERTY FROM WHICH THE LIGHT ORIGINATES, AND NO ILLUMINATION SHALL PRODUCE GLARE, INCIDENT OR DIRECT LIGHT THAT INTERFERES WITH THE SAFE MOVEMENT OF MOTOR VEHICLES ON PUBLIC STREETS.

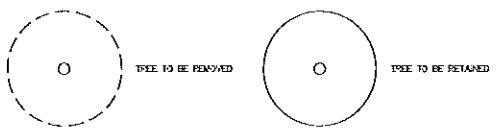
GENERAL NOTES

1. A PRE-CONSTRUCTION MEETING WITH THE CITY OF KYLE INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.
2. THE CONTRACTOR SHALL INSTALL EROSION SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEANING, GRUBBING OR EROSION).
3. CITY OF KYLE AND/OR CITY OF AUSTIN TREE AND NATURAL AREA PROTECTION AND EROSION CONTROL NOTICES ARE TO BE FOUND IN THE GENERAL NOTES & REFER TO DETAILS SHEETS FOR EROSION CONTROL DETAILS AND ADDITIONAL NOTES.
4. THE LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS. ANY DAMAGE BY THE CONTRACTOR TO THE EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AT HIS EXPENSE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA 'ONE CALL' SYSTEM (1 800 488 4848) TO LOCATE EXISTING UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCING EROSION CONTROL OPERATIONS.
5. ANY DIRT, MUD, ROCKS, DEBRIS, ETC. THAT IS SPILLED, TRACKED OR OTHERWISE DEPOSITED ON ANY EXISTING PAVED STREET SHALL BE CLEANED UP IMMEDIATELY.
6. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRACKING OF PAVEMENT OR SEDIMENT ON TO PUBLIC ROADWAY PRIOR TO CITY OF AUSTIN ENVIRONMENTAL OFFICER'S MANUAL, ECOM 14.4.3.
7. THE CITY INSPECTOR HAS THE AUTHORITY TO ADD OR MODIFY EROSION SEDIMENTATION CONTROLS ON SITE TO KEEP THE PROJECT IN COMPLIANCE WITH CITY OF KYLE RULES AND REGULATIONS.
8. THE CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS AN IRRIGATION TRUCK AND MULDING AS DESCRIBED IN CITY OF AUSTIN ECOM 14.4.5, OR AS DIRECTED BY THE CITY OF KYLE INSPECTOR/ENVIRONMENTAL INSPECTOR.
9. SILT FENCE INSTALLATION SHALL COMPLY WITH ECOM 14.2.01. SILT FENCE TYPE SHALL BE WAXES OR COMPONENT'S SILT FENCE OR APPROVED EQUAL. EACH 500'S SHALL COMPLY WITH ECOM 14.2.7.
10. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR 14 DAYS, DISTURBED AREA NEED TO BE STABILIZED BY PLANTING OF MULCH MATS OR VEGETATION MATTING PER ECOM 14.4.3.3 SECTION 5.9.
11. THE CONTRACTOR WILL CLEANUP SPILLS THAT MIGRATE ON TO THE ROADS A MINIMUM OF ONCE DAILY (EOM 14.4.1.3).

Item # 9



EXISTING TREE LEGEND



MAINTENANCE NOTES

- A. The owner of the landscaped property shall be responsible for the maintenance of all landscape areas. Said areas shall be maintained so as to present a healthy, neat and orderly appearance at all times and shall be kept free of refuse and debris. All planted areas shall be provided with a readily available water supply and watered as necessary to ensure continuous healthy growth and development. Maintenance shall include the replacement of all dead plant material if that material was used to meet the requirements of Section 53-502.
- B. All property within the city limits will adhere to city drought management program when watering.

LANDSCAPE CALCULATIONS

Landscape Area	Required	Provided
Total Site Area	N/A	11,500 S.F.
Landscape Area	2,378 S.F.	5,293 S.F.
Tree & Shrubs	Required	Provided
Trees (2.5' x 10' + 2)	0	8
Shrubs (2.5' x 10' + 4)	16	12

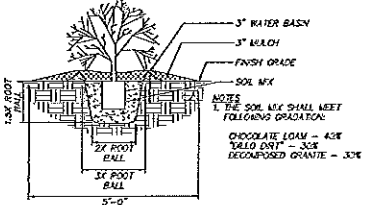
*Two for one credit for existing trees to remain

PLANT LIST

- 1. RED YUCCA - *Yucca parviflora*
5 gal., 3" c.c., 12" H., 12" spread, dark green, full
- 2. UPRIGHT ROSEMARY - *Rosmarinus officinalis*
5 gal., 4" c.c., 18" H., 12" spread, dark green, full

LANDSCAPE PLAN NOTES

1. Refer to "Permanent Erosion Control Notes", Sheet 2 for turf seeding in areas disturbed by construction.
2. Contractor to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the Owner's Representative immediately.
3. Contractor is responsible for verification of the location of all underground utilities. Report to soil utilities as a result of the work of the Contractor shall be the responsibility of the Contractor. **NOTE:** All existing and proposed utilities may not be shown on this plan.
4. Utilities may exist on site that were unknown during the development of this drawing. Contractor to notify the Owner's Representative immediately if the location of any proposed plant material conflicts with any site utility lines including but not limited to monitoring, oil, water, gas, sewer, fire, and other utilities. Do not plant a tree within 20 feet of the above-mentioned structure unless otherwise directed by the drawings. Failure to notify the Owner's Representative of such conflicts will result in the Contractor being responsible for replacing the affected plant material at the Owner's discretion.
5. Contractor is responsible for verification of all plant quantities based on the drawings and actual field conditions. Plant quantities have been provided for estimating purposes only. Contractor shall provide until prices to the owner in case of any shortages, overages or revisions to the planting design.
6. Contractor shall supply nursery-grown trees (except for ball & burlap as approved by the Landscape Architect), shrubs, and ground covers of species, size and size as specified in the Plant List.
7. All plants shall be legally labeled true to specified size and variety in accordance with Standardized Plant Names, American Joint Committee on Horticulture. Sizes must be in accordance with the American Association of Nurserymen Standards.
8. Irrigation system installation to be complete (with the exception of tree bubblers if applicable) prior to the installation of any plant material.
9. Contractor to remove all sticks, rocks, concrete, trash and any other debris prior to installation of soil mix or plant material.
10. Contractor is responsible for removal of trash and repair of hazardous conditions (holes, open holes, etc.) on a daily basis by the end of the work day.
11. Upon completion of construction and prior to final approval, Contractor shall thoroughly clean the site of all trash, spilled soil, and fillers, etc. that has resulted from landscape construction operations. Repair all damage to finish grade including damage from excavations, wheel ruts, etc. caused from construction.
12. Remove all logs, ribbons and wires from all newly installed plant material upon Owner's authorization.
13. Contractor to replace all materials which are dead, unhealthy, or unstable (as determined by the Owner) with the cost of replacement to be at the Contractor's expense. Replacement material to be in accordance with the drawings and shall be warranted per the guarantee requirements stated herein.
14. All plant material to be guaranteed to remain alive and in healthy vigorous condition for a period of one year after acceptance by the Owner.
15. Warranty shall not include damage or loss of plants due to acts of God, acts of vandalism or negligence on the part of the Owner.



SHRUB PLANTING DETAIL
SCALE: N.T.S.

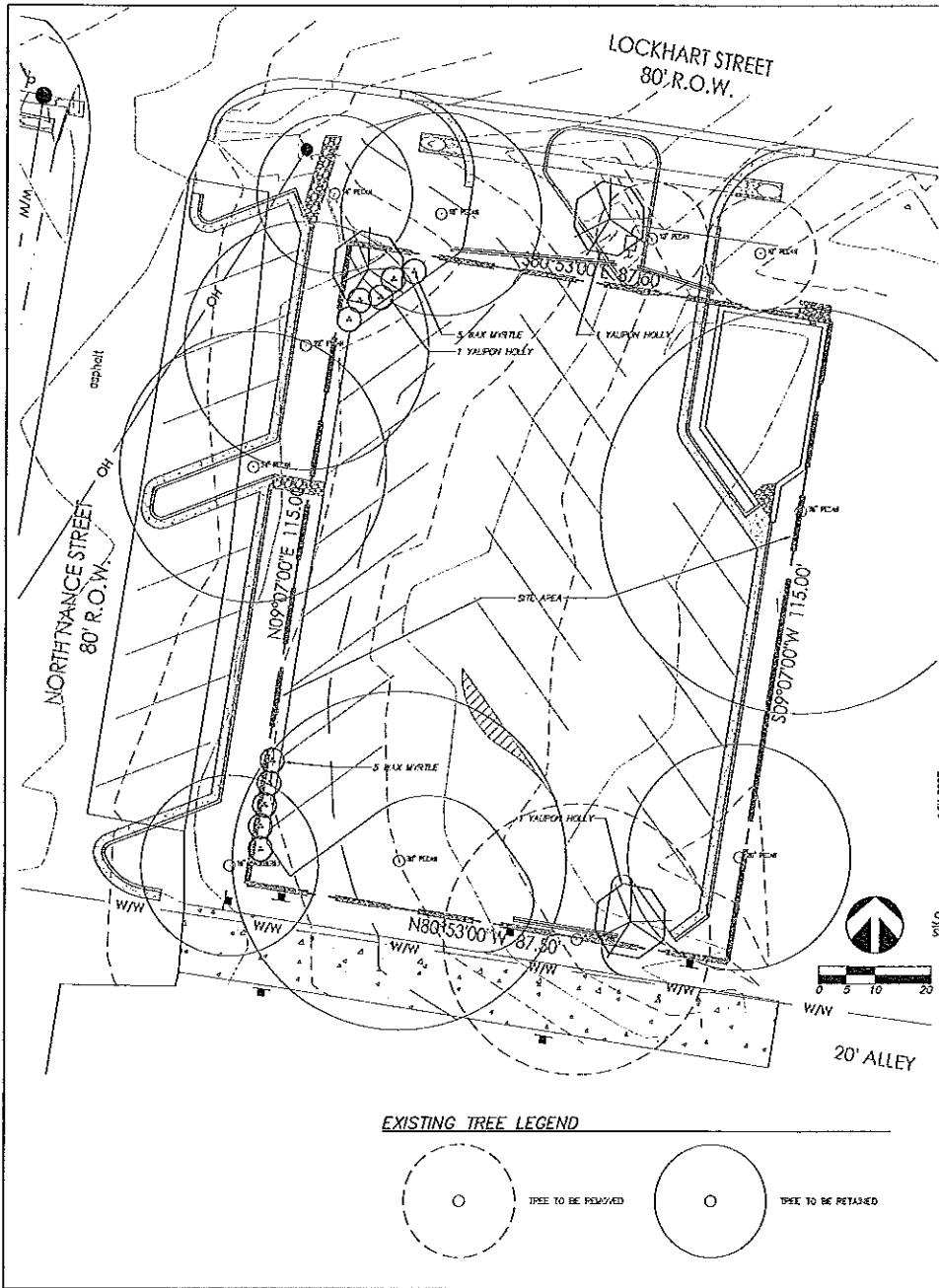
M.H.B. Landscape Architect
544 military drive - campton, texas 78605
ph. (512) 491-9102 fax (512) 491-9106
mhba@mhba.com



FIRST BAPTIST CHURCH - EDUCATION BUILDING
400 WEST CENTER STREET
KYLE, TEXAS 78640

LANDSCAPE PLAN

SHEET
1-1
OF



LANDSCAPE PLAN NOTES

1. Refer to "Permanent Erosion Control Notes", Sheet 2 for turf seeding in areas disturbed by construction.
2. Contractor to verify all site dimensions and layout prior to the commencement of landscape construction. Any discrepancies between the drawings and the actual site conditions shall be brought to the attention of the Owner's Representative immediately.
3. Contractor is responsible for verification of the location of all underground utilities. Plans to soil utilities as a result of the work of the Contractor shall be the responsibility of the Contractor. **NOTE:** All existing and proposed utilities may not be shown on this plan.
4. Utilities may exist on site that were unknown during the development of this drawing. Contractor to notify the Owner's Representative immediately if the location of any proposed plant material conflicts with any site utility lines including but not limited to manholes, pull boxes, valve boxes, meters, transformers, etc. Do not plant a tree within 20 feet of the above-mentioned structures unless otherwise directed by the drawings. Failure to notify the Owner's Representative of such conflicts will result in the Contractor being responsible for replacing the affected plant material at the Owner's discretion.
5. Contractor is responsible for verification of all plant quantities based on the drawings and actual field conditions. Plant quantities have been provided for estimating purposes only. Contractor shall provide unit prices in the event of any shortages, overages or reductions to the planting design.
6. Contractor shall supply nursery-grown trees (except for box & burp as approved by the Landscape Architect), shrubs, and ground covers of species, type and size as specified in the Plant List.
7. All plants shall be legibly labeled true to specified size and variety in accordance with Standardized Plant Names, American Joint Committee on Horticulture. Sizes must be in accordance with the American Association of Nurserymen Standards.
8. Irrigation system installation to be complete with the exception of tree bubblers if applicable prior to the installation of any plant material.
9. Contractor to remove all stumps, rocks, concrete, trash and any other debris prior to installation of soil mix or plant material.
10. Contractor is responsible for removal of trash and repair of hazardous conditions (loose open holes, etc.) on a daily basis by the end of the work day.
11. Upon completion of construction and prior to final approval, Contractor shall thoroughly clean the site of all loose, spilled soil, and fillers, etc. that has resulted from landscape construction operations. Patch all damage to finish grade including damage from excavators, wheel ruts, etc. caused from construction.
12. Remove all tags, ribbons and wires from all newly installed plant material upon Owner's authorization.
13. Contractor to replace all materials which are dead, unhealthy, or unsightly (as determined by the Owner) with the cost of replacement to be at the Contractor's expense. Replacement material to be in accordance with the drawings and shall be warranted for the guarantee requirements stated herein.
14. All plant material to be guaranteed to remain alive and in healthy vigorous condition for a period of one year after acceptance by the Owner.
15. Warranty shall not include damage or loss of plants due to acts of God, acts of vandalism or negligence on the part of the Owner.

MAINTENANCE NOTES

- A. The owner of the landscaped property shall be responsible for the maintenance of all landscape areas. Soil areas shall be maintained so as to present a healthy root and orderly appearance of all trees and shall be kept free of refuse and debris. All planted areas shall be provided with a readily available water supply and watered as necessary to ensure continuous healthy growth and development. Maintenance shall include the replacement of all dead plant material if that material was used to meet the requirements of Section 3.5-2.6.
- B. All property within the city limits will adhere to city drought management programs when existing.

LANDSCAPE CALCULATIONS

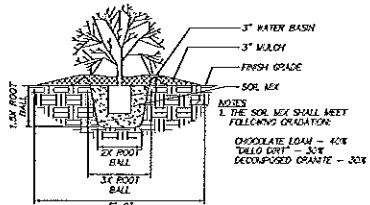
Landscaped Area	Required	Provided
Total Site Area	N/A	13,063 S.F.
Landscape Area	1,510 S.F.	1,656 S.F.

Tree & Shrubs	Required	Provided
Trees (1,510/500 x 2)	6	5*
Shrubs (1,510/500 x 2)	10	13

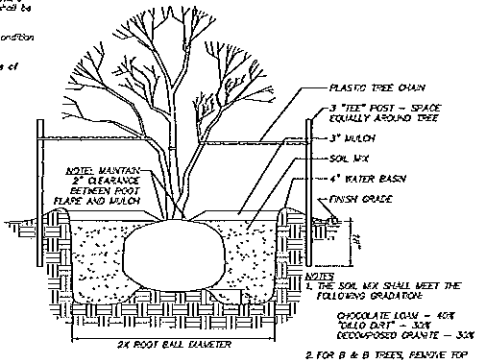
*Two for one credit for existing trees to remain

PLANT LIST

QUANTITY	DESCRIPTION
10	BAX MYRTLE - Mexican variegated 5 gal, 4' tall, 2 1/2" db, 1 1/2" sprd, dark green, full
3	YALPOM HOLLY - tree variegated "Trick of Houston" 4" cal, 60 gal, space as shown, 8' H, 4' sprd, dark green, full

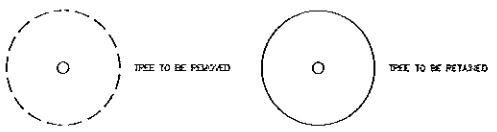


SHRUB PLANTING DETAIL
SCALE: N.T.S.



MULTI-TRUNK TREE PLANTING DETAIL
SCALE: N.T.S.

EXISTING TREE LEGEND



NINE Landscape Architect
3444 Wilshire Center, Suite 1400, Houston, TX 77019
PH: (813) 441-0137 FAX: (813) 441-2704
mailto:info@nine.com



FIRST BAPTIST CHURCH - PARKING LOT
400 WEST CENTER STREET
KYLE, TEXAS 78640

LANDSCAPE PLAN

SHEET
1-2
OF



CITY OF KYLE, TEXAS

Meeting Date: 10/2/2012
Date time: 8:30 PM

First Baptist Church - CUP

Subject/Recommendation: Consider a request by First Baptist Church for a Conditional Use Permit to construct a 10,059 Square foot building located at 400 W. Center Street and within the Center Street Overlay District ~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the Conditional Use Permit.

- *Public Hearing*

Other Information: Please see attachments

Budget Information: N/A

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

- [Color Rendering](#)
- [Location Map](#)
- [Elevation 1](#)
- [Elevation 2](#)
- [Parking Lot](#)
- [Staff Report](#)

MEMORANDUM

TO: Planning and Zoning Commission

FROM: Sofia Nelson, Planning Director

DATE: 9/21/12

SUBJECT: Conditional Use Permit- First Baptist Church Building Addition

Summary of Request:

The subject property is located at the southeast corner of Sledge and Lockhart, in the CBD-1 zoning district. The buildings on the site have already been demolished and the applicant's are proposing to construct a two story religious education building/ mother's day out facility.

STAFF ANALYSIS AND RECOMMENDATION

Overlay District

The Center Street overlay district. The Center Street conditional use overlay district (the Center Street overlay district), Center Street is also known as Farm-to-Market Road No. 150, extends from the intersection of Center Street and I-35 on the east to the intersection of Center Street and Rebel Drive on the west, and includes all real property within 200 feet from the centerline of Center Street; and all real property within all central business district-1 (CBD-1) and central business district-2 (CBD-2) zoning districts.

Comprehensive Master Plan Guidance

The subject property is located in the Old Town Community future land use district. The urban design plan identifies this property to be located within the urban core. As a result of its location the following guidance is provided:

- Maintain continuity in the general use of materials within any block
- Make every effort to expand the sidewalk pedestrian space with outdoor restaurants or other gathering spaces for sales or display
- Promote vertical mixed land uses where possible
- Maintain a building to line that is located at the edge of the sidewalk spaces and place parking behind the buildings.

Staff Analysis

The applicant is proposing to construct a building that contains a masonry wainscoting and a stucco finish. Additionally, the proposed building will contain a standing seam metal roof that is shown on the color rendering to be red. In order maintain the building line that is established with rest of the site the applicant is requested the extension of a nonconformity to allow for a 5' side building line rather than the required 15' setback. Staff has reviewed the request and has made the following findings:

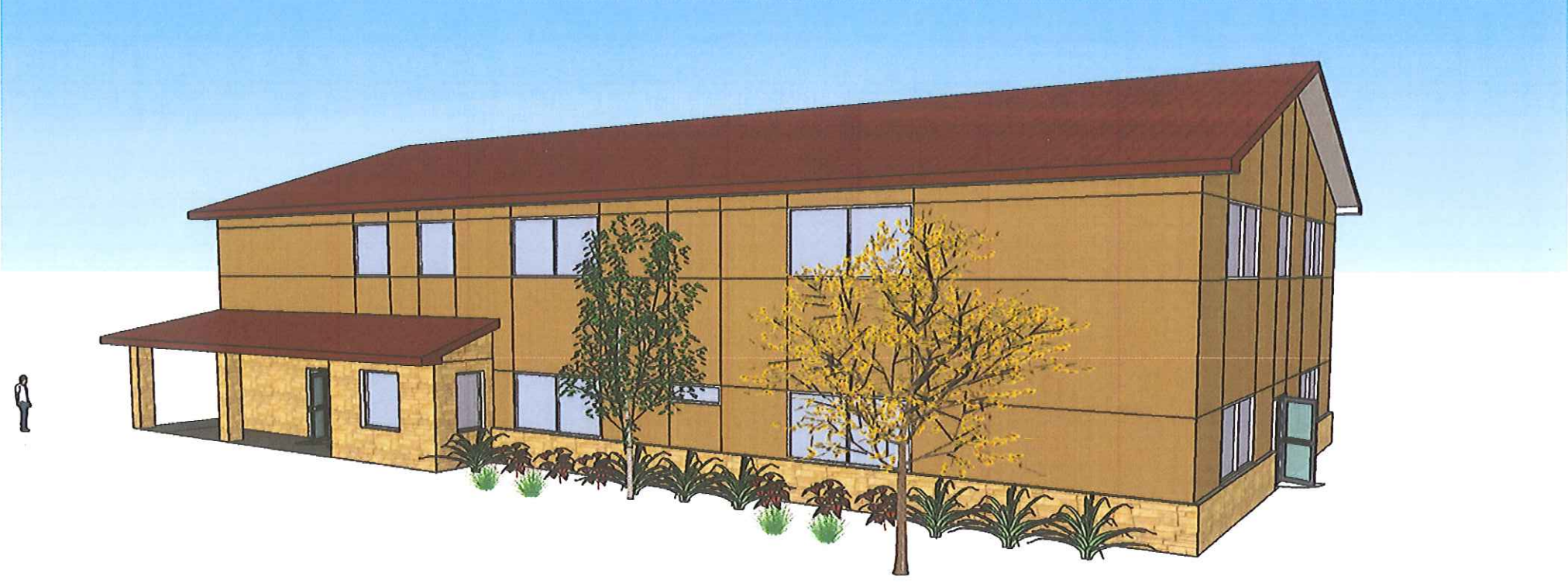
- The proposed masonry appears to match the masonry used on the existing buildings.

- The proposed sides and rear of the building appear to be well balanced with a change in materials and the inclusion of windows. However the front of the building, the façade facing Lockhart Street, does not appear to maintain the same level of balance. I would encourage the use of more than one window on the second level and a change in the metal door that is shown on the first floor. Additionally, the inclusion of windows on the first floor would help to promote visual interest in the building.





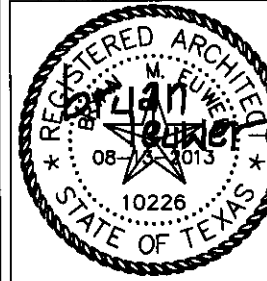




THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF EWER & ASSOCIATES ARCHITECTS AND ENGINEERS. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REVISION, OR CHANGE IN ANY FORM OR FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION FROM EWER & ASSOCIATES IS PROHIBITED.

Ewer & Associates
 205 BARRACUDA, BATON VISTA, TX 77663
 (512) 923-2975

FIRST BAPTIST CHURCH KYLE
 400 WEST CENTER STREET
 KYLE, TEXAS 78602



DATE ISSUED
 8/30/2012

REVISIONS		
NO.	DATE	BY

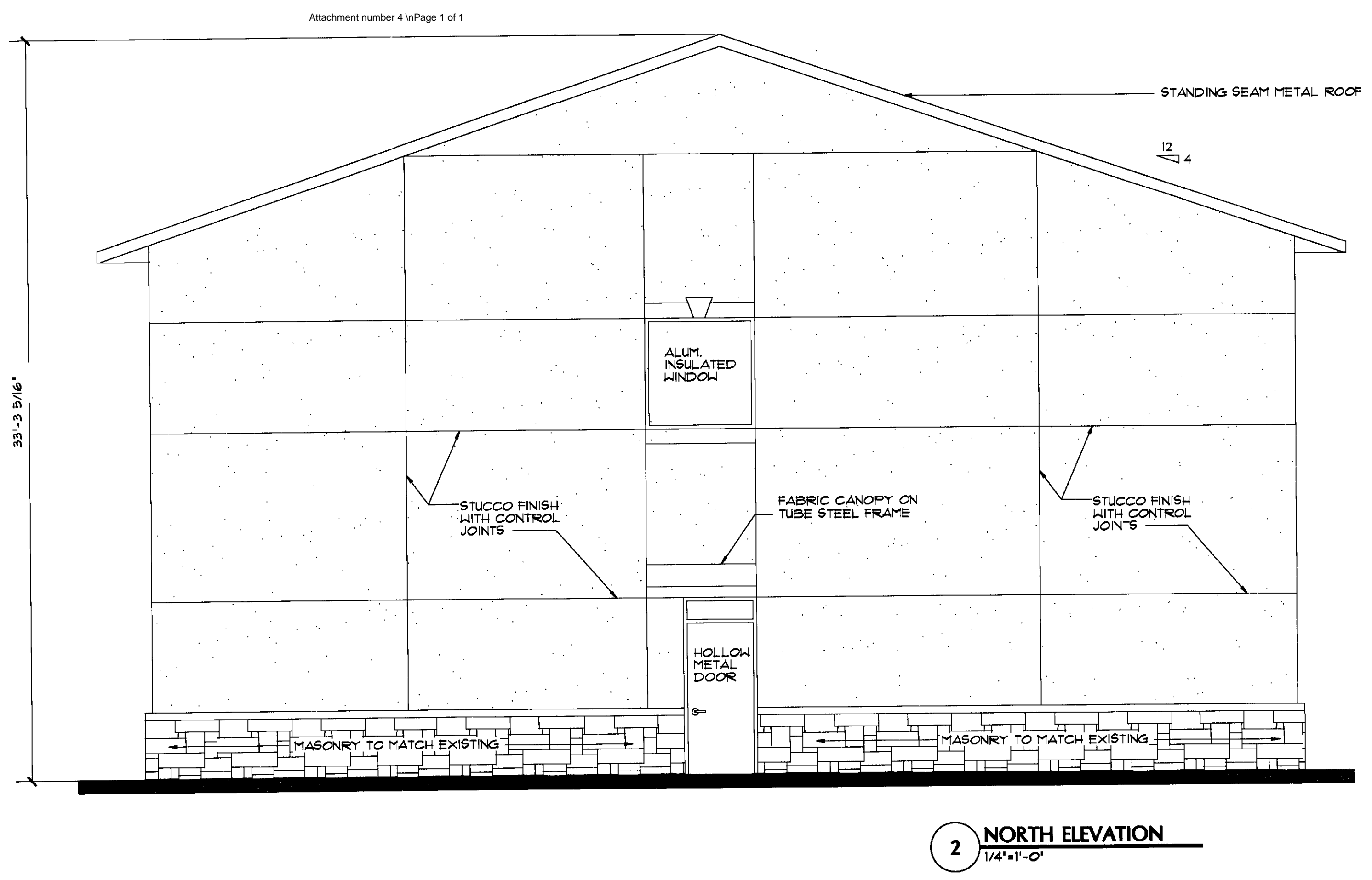
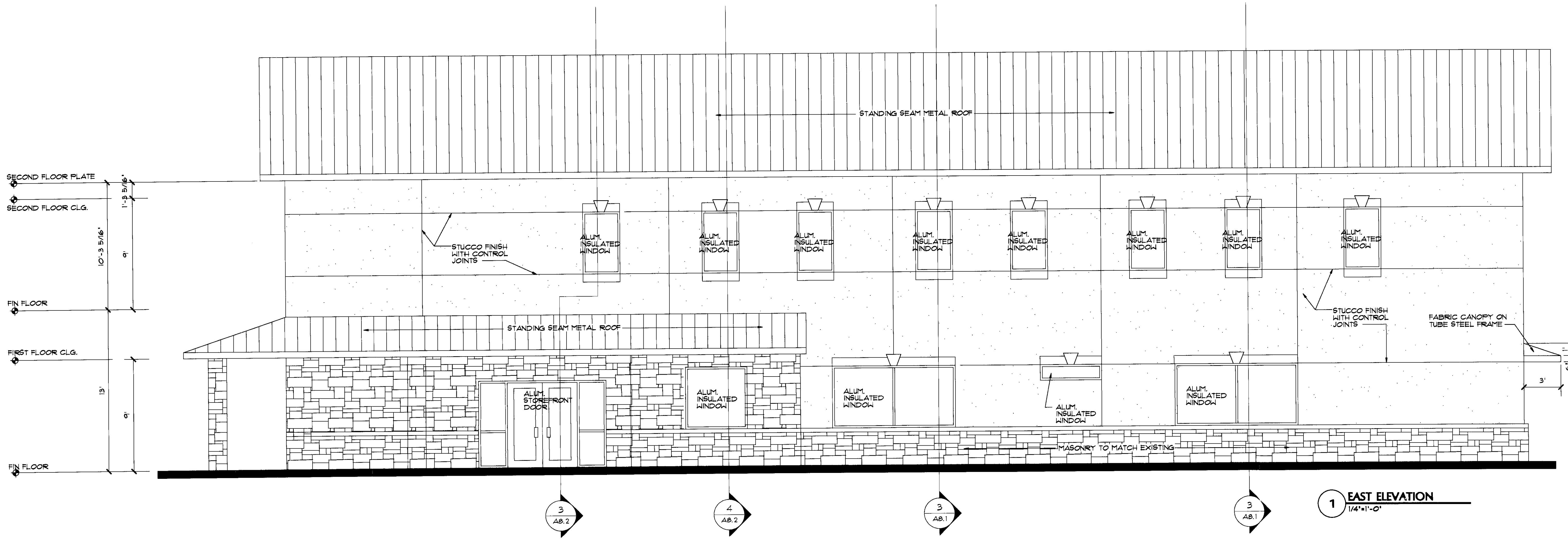
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FILE NAME

SHEET NO.

A7.1

EXTERIOR ELEVATIONS

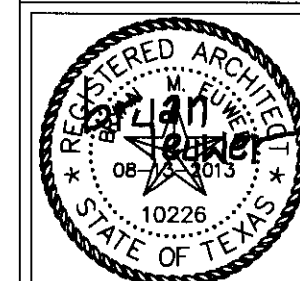


Attachment number 4 v1 Page 1 of 1

OWNER & ASSOCIATES HEREBY WARRANTS THAT THIS DRAWING IS THE PROPERTY OF EULER & ASSOCIATES ARCHITECTS AND ENGINEERS, P.C. AND IS NOT TO BE REPRODUCED, COPIED, CHANGED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION FROM EULER & ASSOCIATES ARCHITECTS AND ENGINEERS, P.C.

Euler & Associates
 205 BARRACUDA, BAYOU VISTA, TX 77563
 (817) 923-2515

FIRST BAPTIST CHURCH KYLE
 400 WEST CENTER STREET
 KYLE, TEXAS 78602



DATE ISSUED
 8/30/2012

REVISIONS

NO.	DATE	BY

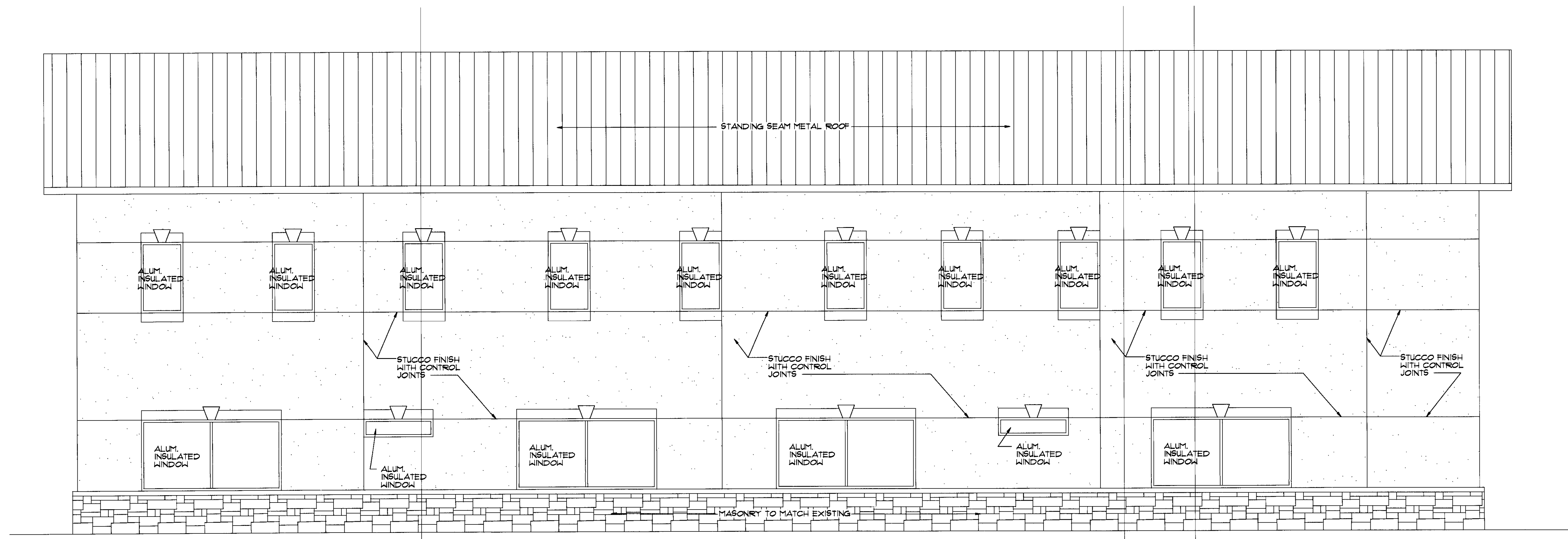
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FILE NAME

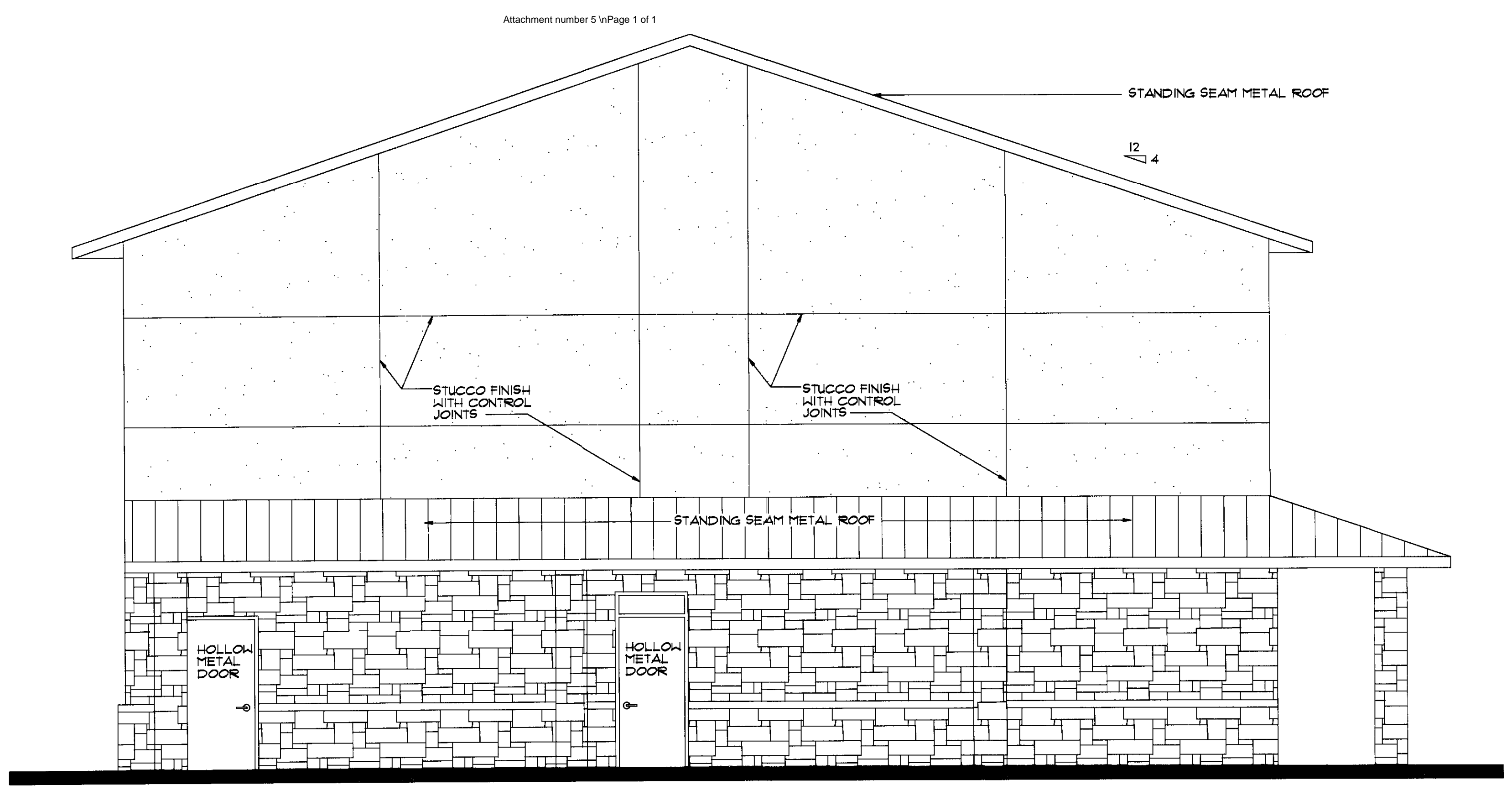
SHEET NO.

A7.2

EXTERIOR ELEVATIONS



3 WEST ELEVATION
 1/4"=1'-0"



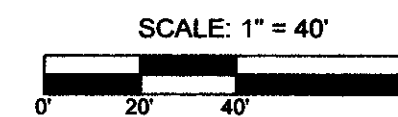
4 SOUTH ELEVATION
 1/8"=1'-0"

Attachment number 5 in Page 1 of 1

BLOCK 29

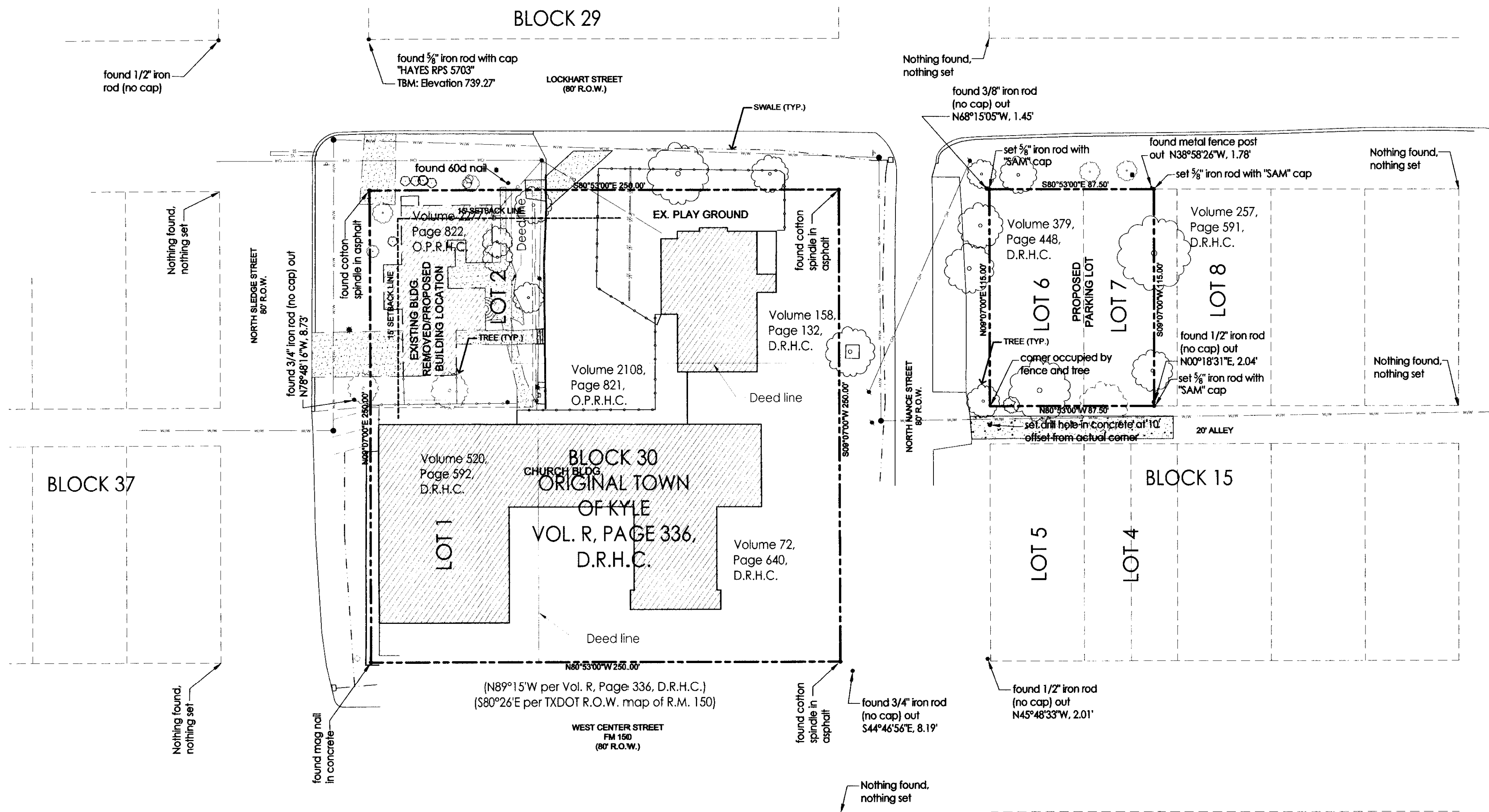


NORTH

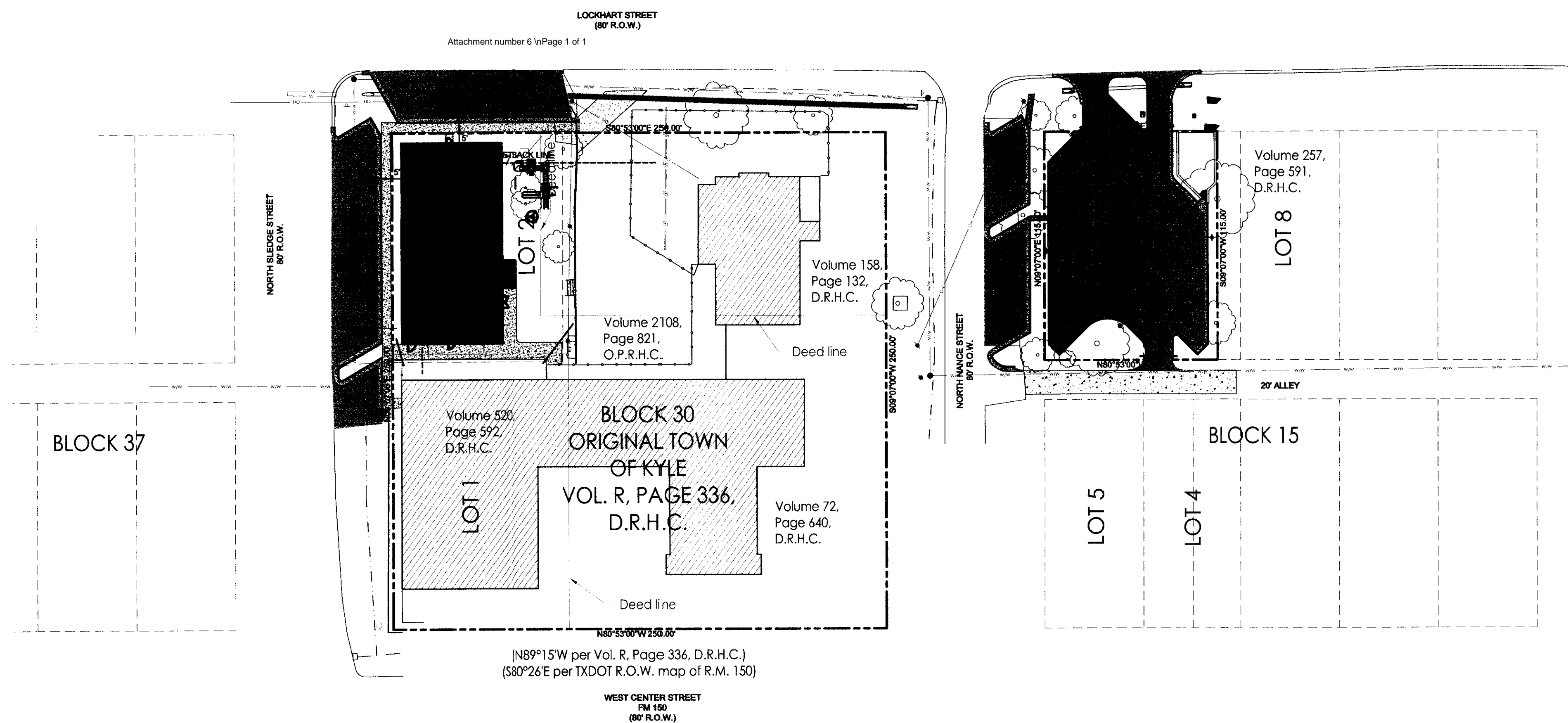


LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- OH --- EXISTING OVERHEAD ELECTRIC
- WW --- EXISTING WASTEWATER
- ◇ FIRE HYDRANT
- EXISTING POWER POLE

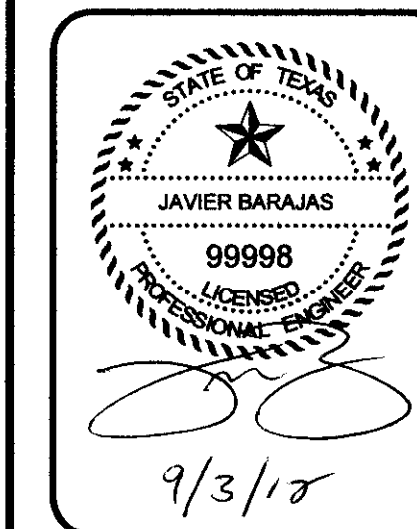


EXISTING CONDITIONS



PROPOSED CONDITIONS

NO.	REVISION/ISSUE	DATE



OWNER:
 FIRST BAPTIST CHURCH
 400 CENTER STREET
 KYLE, TEXAS 78840
 (512) 258-3511

Landmark CES
 CIVIL ENGINEERING SERVICES, PLLC
 900 CALLE BRANIFF
 KYLE, TEXAS 78840
 (512) 915-5680 PHONE
 (512) 608-8288 FAX
 TBPE REGISTRATION # F-11930

FIRST BAPTIST CHURCH
 KYLE, TEXAS

CONDITIONAL USE PERMIT APPLICATION
EXISTING & PROPOSED SITE PLAN EXHIBIT

DATE:	JUNE 2012
PROJECT NO.:	120401
SHEET	1
OF	1

PROJECT NO. 120401 DATE: 6/20/12 11:04:08 TLBK.dwg



CITY OF KYLE, TEXAS

First Baptist Church - CUP (Parking Lot)

Meeting Date: 10/2/2012
Date time: 8:30 PM

Subject/Recommendation: Consider a request by First Baptist Church for a Conditional Use Permit to construct a parking lot located at 110 N. Nance and within the Center Street Overlay District ~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 7-0 to approve the Conditional Use Permit.

- *Public Hearing*

Other Information: Please see attachments

Budget Information: N/A

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

[Location Map](#)

[Parking Lot](#)

[Staff Report](#)

MEMORANDUM

TO: Planning and Zoning Commission

FROM: Sofia Nelson, Planning Director

DATE: 9/21/12

SUBJECT: Conditional Use Permit- First Baptist Church Parking Lot

Summary of Request:

The subject property is located at the southeast corner of Nance Street and Lockhart Street in the CBD-2 zoning district. The subject property is a vacant site that the applicant is seeking to redevelop the lot into a 20 space parking lot.

STAFF ANALYSIS AND RECOMMENDATION

Overlay District

The Center Street overlay district. The Center Street conditional use overlay district (the Center Street overlay district), Center Street is also known as Farm-to-Market Road No. 150, extends from the intersection of Center Street and I-35 on the east to the intersection of Center Street and Rebel Drive on the west, and includes all real property within 200 feet from the centerline of Center Street; and all real property within all central business district-1 (CBD-1) and central business district-2 (CBD-2) zoning districts.

Comprehensive Master Plan Guidance

The subject property is located in the Old Town Community future land use district. The urban design plan identifies this property to be located within the urban core. As a result of its location the following guidance is provided:

- Maintain continuity in the general use of materials within any block
- Make every effort to expand the sidewalk pedestrian space with outdoor restaurants or other gathering spaces for sales or display
- Promote vertical mixed land uses where possible
- Maintain a building to line that is located at the edge of the sidewalk spaces and place parking behind the buildings.

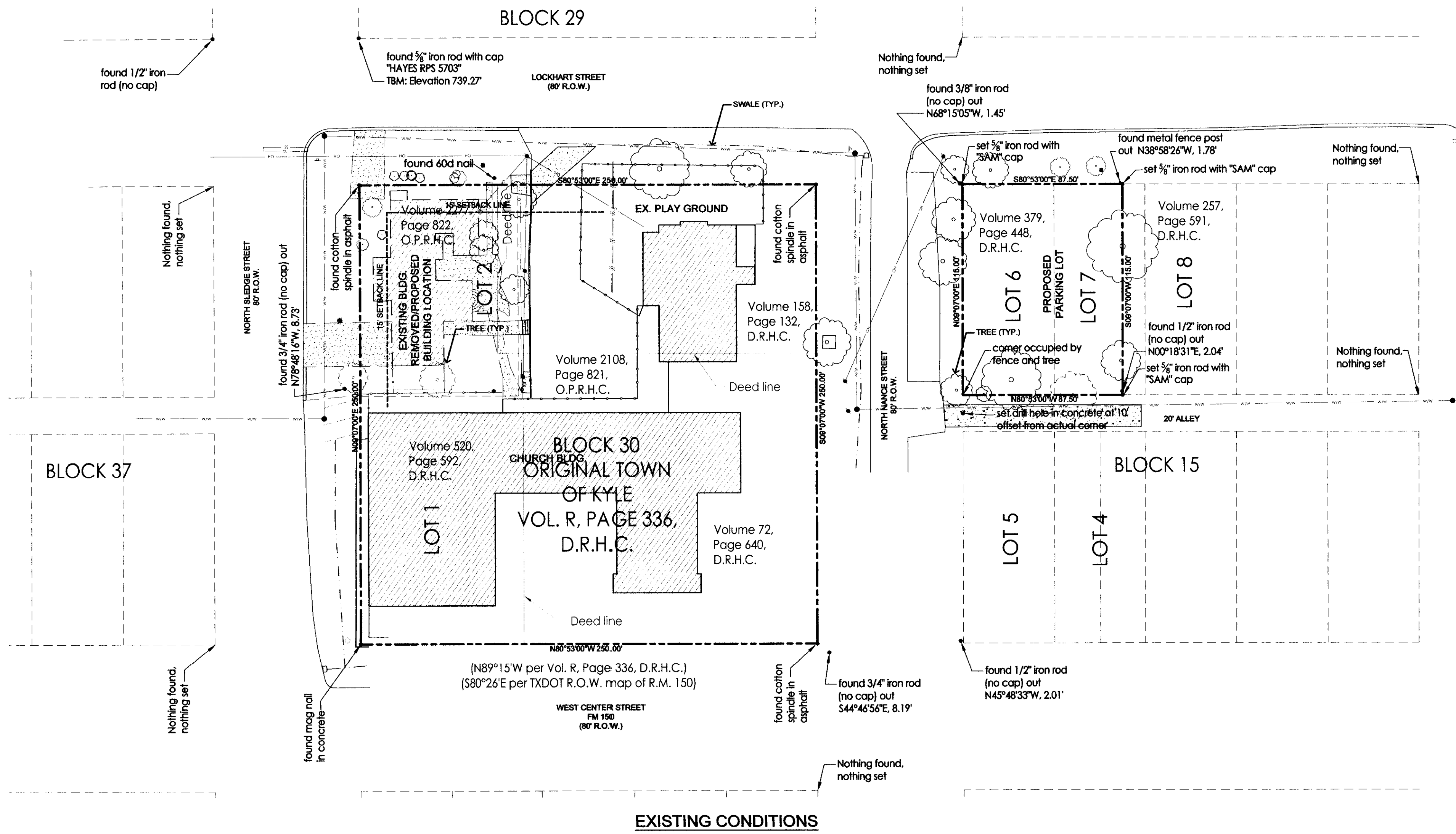
Staff Analysis

The applicant is seeking to develop a 20 space parking lot for the use of the First Baptist Church. Staff has reviewed the request and has made the following findings:

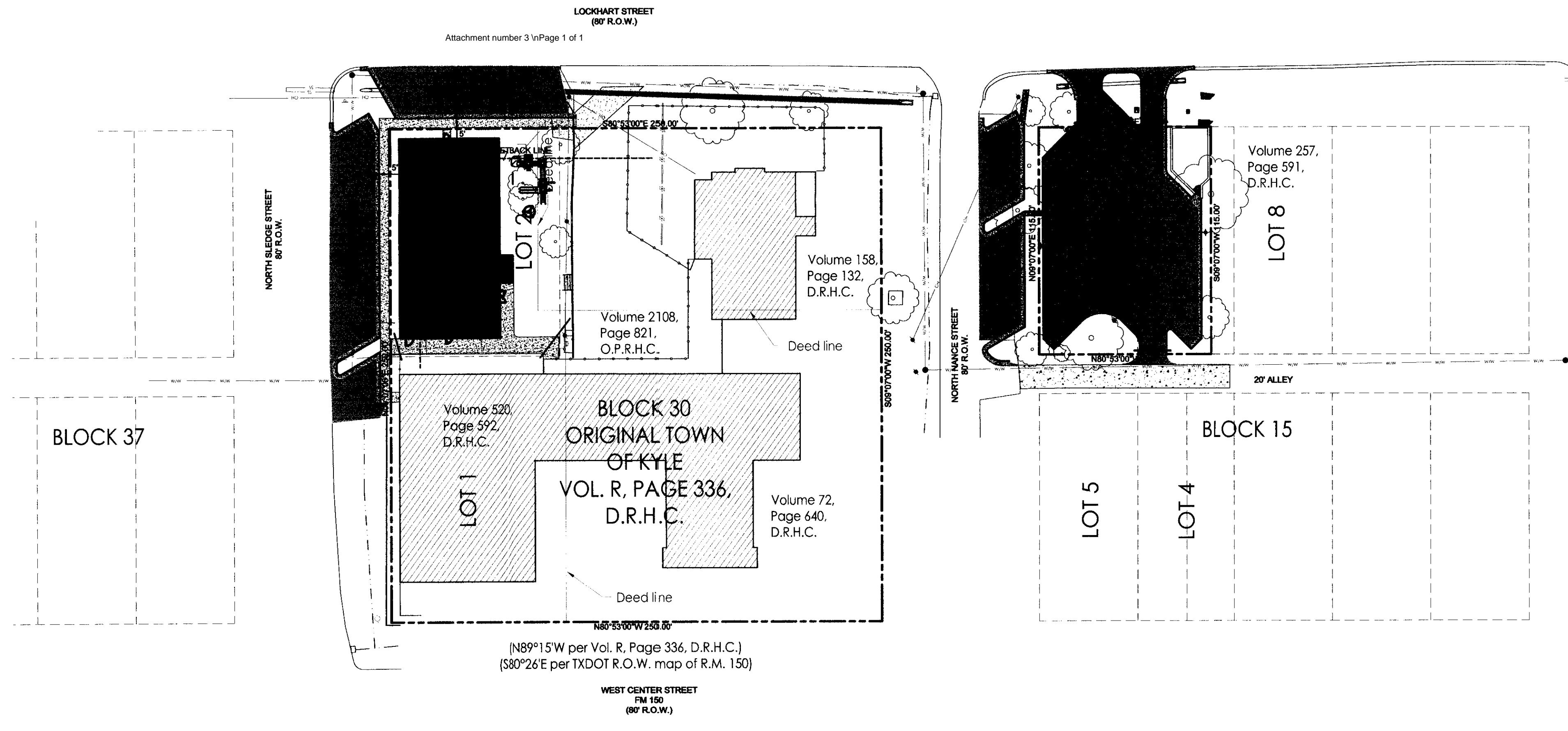
- While the development of a parking lot does not maintain the continuity of the general use of materials within the block the applicant has taken steps to retain a significant amount of the tree canopy on the site

- The development of a parking lot on this site does not appear to be harmful to the adjacent properties and does not appear to disturb or distract from future redevelopment of the adjacent property.





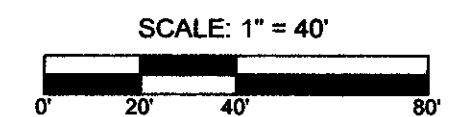
EXISTING CONDITIONS



PROPOSED CONDITIONS



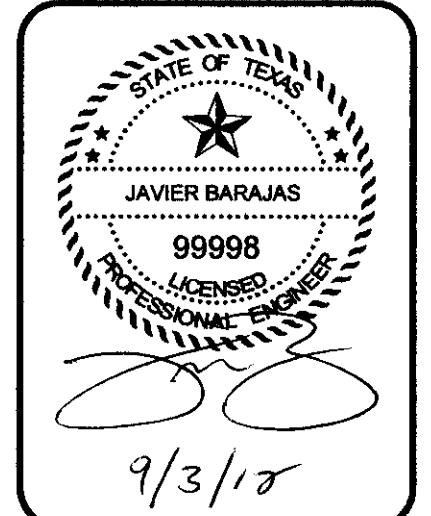
NORTH



LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- OH --- EXISTING OVERHEAD ELECTRIC
- WW --- EXISTING WASTEWATER
- ◇ FIRE HYDRANT
- EXISTING POWER POLE

NO.	REVISION/ISSUE	DATE



OWNER:
 FIRST BAPTIST CHURCH
 400 CENTER STREET
 KYLE, TEXAS 78840
 (512) 2568-3511

Landmark CES
 CIVIL ENGINEERING SERVICES, PLLC
 9601 CALLE PANAMA
 KYLE, TEXAS 78840
 (512) 915-5680 PHONE
 (512) 608-8288 FAX
 TBPE REGISTRATION # F-11930

FIRST BAPTIST CHURCH
 KYLE, TEXAS

CONDITIONAL USE PERMIT APPLICATION
EXISTING & PROPOSED SITE PLAN EXHIBIT

DATE: JUNE 2012
 PROJECT NO.: 120401
 SHEET
 OF 1 1



CITY OF KYLE, TEXAS

HDF Investments

Meeting Date: 10/2/2012
Date time: 8:30 PM

Subject/Recommendation:

(First Reading) AN ORDINANCE AMENDING CHAPTER 53 (ZONING) OF THE CITY OF KYLE, TEXAS, FOR THE PURPOSE OF ASSIGNING ORIGINAL ZONING OF 'RS' RETAIL SERVICES DISTRICT TO APPROXIMATELY 1.180 ACRES, ON PROPERTY LOCATED AT THE CORNER OF E. POST ROAD AND IH-35 (AB 473 JAS W. WILLIAMS SURVEY 1.180 ACRES), IN HAYS COUNTY, TEXAS. (HDF INVESTMENTS - Z-12-006); AUTHORIZING THE CITY SECRETARY TO AMEND THE ZONING MAP OF THE CITY OF KYLE SO AS TO REFLECT THIS CHANGE; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE; PROVIDING FOR SEVERABILITY; AND ORDAINING OTHER PROVISIONS RELATED TO THE SUBJECT MATTER HEREOF; FINDING AND DETERMINING THAT THE MEETING AT WHICH THIS ORDINANCE WAS PASSED WAS OPEN TO THE PUBLIC AS REQUIRED BY LAW ~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 6-1 to approve the zoning request.

- *Public Hearing*

Other Information:

Please see attachments

Budget Information:

N/A

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

[Location Map](#)

[Location Map](#)

[Exhibit A](#)

[Ordinance](#)

[Exhibit B](#)

[Staff Report](#)

Cover Memo

Item # 12

September 21, 2012 Zoning	City Council HDF Investments
Case Number: Z-12-006	

Planning and Zoning Commission Action: On September 25th the Planning and Zoning Commission recommended, with a vote of 6-1, approval of the rezoning request.

OWNER/APPLICANT: HDF Investments

LOCATION: 6200 E. Post Road

AREA: 1.180 acres

EXISTING ZONING: Agriculture (Ag) Interim Zoning- Located within the I-35 Overlay District

PROPOSED ZONING: Retail Services (RS)

SITE INFORMATION:

Transportation: The subject property fronts on I-35, and Post Road

Surrounding Zoning:

- *North- Agriculture*
- *South- Agriculture/Post Road*
- *East – Post Road/ Agriculture*
- *West- I-35*

Future Land Use Designation: New Settlement District

PUBLIC INPUT:

6 property owners were notified with mailed notice. Staff had not received any letters of support or opposition.

STAFF ANALYSIS:

Background

The subject property is located east of I-35 and is bounded by Post Road and IH-35. The property was initially annexed into the City in 2002 and received its current interim zoning designation of AG at that time.

Requested Zoning District

Intent of Requested Zoning District

The Retail Services zoning district allows general retail sales of consumable products and goods within buildings of products that are generally not hazardous and that are commonly purchased and used by consumers in their homes, including most in-store retail sales of goods and products that do not pose a fire or health hazard to neighboring areas, e.g., clothing, prescription drugs, furniture, toys, hardware, electronics, pet supply, variety, department, video rental and antique stores, art studio or gallery, hobby shops and florist shops., and the retail sale of goods and products (in the following listed use areas) to which value has been added on site, including sales of goods and services outside of the primary structure as customary with the uses specifically listed, and the following: Any use permitted in CBD-1 or CBD-2 and RS districts as provided in [section 53-1230](#).

September 21, 2012 Zoning	City Council HDF Investments
Case Number: Z-12-006	

Comprehensive Plan Guidance

The Future Land Use map identifies the subject property to be located within the New Settlement Future Land Use District. The Comprehensive Master Plan identifies the New Settlement District to have a high level of development potential. Additionally the Comprehensive Master Plan states The City of Kyle should seek to capitalize on the develop ability of the future land use district, while emphasizing community amenities, enhancing the neighborhood lifestyle through shared spaces and improving connectivity within and outside the district. Furthermore the district encourages use patterns to be established in a manner that complement residential development and facilitate beneficial land use transitions. The New Settlement District identifies the retail services “RS” zoning district as a conditional zoning category within the district. When a zoning district is identified conditional the comprehensive master plan states that design improvements shall be made to ensure compliance with intent and character objectives of the future land use district and implementation of the design standards as conveyed in the urban design plan shall be incorporated into the development. The Comprehensive Master Plan provides the following policy statements with regards to commercial land use, economic development activity, and development along I-35:

- Discourage residential development along I-35 to preserve those parcels for regionally oriented development
- Encourage smaller scale commercial uses to be located on the eastern side of I-35
- Establish commercial centers that provide transitions between commercial and residential use.
- Promote specialized retail away from I-35

Urban Design Plan Guidance

The Urban Design identifies the subject property to be located in an area that is subject to the transitional condition of the Urban Design Plan (specifically within component 3: Interstate 35 Approachways). The urban design plan identifies the primary function of the transitional district is to visually and cognitively establish a separation from the ordinary interstate landscape (as seen in Buda and San Marcos) and create a sense of approach to the destination portion of the interstate corridor. Additionally it provides the following guidance regarding development

Private Realm Interface:

- Service roads prevent building development from directly fronting the Interstate edge. However, where development fronts the service road, it should relate to such roadways in a more typical pattern (e.g. parking located between the building and the roadway).
- Provisions should be made in the site design for a landscape edge of parking areas that brings a portion of the native planting (within the corridor right of way) into the private realm.

Enhancements:

- In order for a clear separation from the ordinary Interstate landscapes of Buda and San Marcos to be realized, the Approachway section of I-35 must present a more pastoral image. Therefore, key enhancements of the Approachway sections of the I-35 corridor include:
 - A forested Interstate edge created by a program of denser tree planting using native species and the use of understory plant materials to create an image of an undisturbed landscape.
 - Planting of colorful ornamental grasses on certain terraces.

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 53 (ZONING) OF THE CITY OF KYLE, TEXAS, FOR THE PURPOSE OF ASSIGNING ORIGINAL ZONING OF 'RS' RETAIL SERVICES DISTRICT TO APPROXIMATELY 1.180 ACRES, ON PROPERTY LOCATED AT THE CORNER OF E. POST ROAD AND IH-35 (AB 473 JAS W. WILLIAMS SURVEY 1.180 ACRES), IN HAYS COUNTY, TEXAS. (HDF INVESTMENTS - Z-12-006); AUTHORIZING THE CITY SECRETARY TO AMEND THE ZONING MAP OF THE CITY OF KYLE SO AS TO REFLECT THIS CHANGE; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE; PROVIDING FOR SEVERABILITY; AND ORDAINING OTHER PROVISIONS RELATED TO THE SUBJECT MATTER HEREOF; FINDING AND DETERMINING THAT THE MEETING AT WHICH THIS ORDINANCE WAS PASSED WAS OPEN TO THE PUBLIC AS REQUIRED BY LAW.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KYLE, TEXAS, THAT:

SECTION 1. That the zoning district map of the City of Kyle adopted in Chapter 53 (Zoning) be and the same is hereby amended to assign original zoning of 'RS' Retail Services District to approximately 1.180 acres, on property located at the corner of E. Post Road and IH-35 (AB 473 Jas W. Williams Survey 1.180 acres), as set forth in the legal description labeled Exhibit A, and the property location map labeled Exhibit B.

SECTION 2. That the City Secretary is hereby authorized and directed to designate the tract of land zoned herein as such on the zoning district map of the City of Kyle and by proper endorsement indicate the authority for said notation.

SECTION 3. If any provision, section, sentence, clause, or phrase of this Ordinance, or the application of same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid (or for any reason unenforceable), the validity of the remaining portions of this Ordinance or the application to such other persons or sets of circumstances shall not be affected hereby, it being the intent of the City Council of the City of Kyle in adopting this Ordinance, that no portion hereof or provision contained herein shall become inoperative or fail by reason of any unconstitutionality or invalidity of any other portion or provision.

SECTION 4. This Ordinance shall be published according to law and shall be and remain in full force and effect from and after the date of publication.

SECTION 5. It is hereby officially found and determined that the meeting at which this ordinance was passed was open to the public as required by law.

READ, CONSIDERED, PASSED AND APPROVED ON FIRST READING by the City Council of Kyle at a regular meeting on the ___ day of _____, 2012, at which a quorum was present and for which due notice was given pursuant to Section 551.001, et. Seq. of the Government Code.

READ, CONSIDERED, PASSED AND APPROVED ON SECOND AND FINAL READING by the City Council of Kyle at a regular meeting on the _____ day of _____, 2012, at which a quorum was present and for which due notice was given pursuant to Section 551.001, et. Seq. of the Government Code.

APPROVED this _____ day of _____, 2012.

Lucy Johnson, Mayor

ATTEST:

Amelia Sanchez, City Secretary

EXHIBIT A

San Marcos, Texas 78666

1214/0010001

P. O. Box 1004

505 273

FIELD NOTE DESCRIPTION
OF
A SURVEY OF
1.18 ACRES OF LAND
OUT OF THE
JAMES W. WILLIAMS SURVEY
HAYS COUNTY, TEXAS

BEING THAT TRACT OF LAND CONVEYED TO E. A. SEVERN BY GEORGE NEOSE BY DEED DATED JULY 9, 1935 AND RECORDED IN VOLUME 110, PAGE 204, HAYS COUNTY DEED RECORDS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT:

BEGINNING at an iron stake with an aluminum cap set at the Southwest corner of that 42.85 acre tract of land conveyed to Don L. Payne by Adolph M. Hill by deed dated July 9, 1980, and recorded in Volume 344, Page 355, Hays County Deed Records, for the North corner of the said Severn tract and of the tract herein described, same being on the East line of Interstate Highway No. 35, the East line of that 10.15 acre tract of land conveyed to the State of Texas by B. Hutchison by deed dated June 29, 1935, and recorded in Volume 109, Page 164, Hays County Deed Records;

THENCE, leaving the said Interstate Highway No. 35, Right of Way, with the Southwest line of the said Payne 42.85 acre tract, S 46 26' 33" E, at 0.55 feet passing an iron stake found at a fence corner and joining fence, at 237.7 feet leaving the said fence at a corner fence post, at 238.68 feet passing an iron stake found on the monumented Northwest line of the Hays County Road No. 140 (Old Highway No. 2) Right of Way, same being the Southeast corner of the said Payne 42.85 acre tract, and continuing on, in all, 259.99 feet, to the East corner tract herein described, same being the East corner of the said Severn tract on the approximate centerline of the said Hays County Road No. 140 Right of Way.

THENCE, with the approximate centerline of the said Hays County Road No. 140 Right of Way, S 44 03' 10" W, passing an overhead power line, and continuing on, in all, 273.16 feet to the South corner of the said Severn tract for the South corner of the tract herein described, same being at an East corner of the said State of Texas 10.15 acre tract as monumented upon the ground;

THENCE, leaving the centerline of the said Hays County Road No. 140 Right of Way, with a North line of the said State of Texas 10.15 acre tract, N 60 08' 30" W, at about 18 feet passing the aforementioned overhead power line, at 21.98 feet passing a Texas Highway Department concrete monument found, on the monumented Northwest line of the said Hays County Road No. 140 Right of Way at about 83 feet passing a second overhead power line and underground telephone cable and continuing on in all 97.64 feet to an iron stake with aluminum cap set for the West corner of the tract herein described, same being the West corner of the said Severn tract on the East line of Interstate Highway No. 35;

305 274
ENCE, with the East line of Interstate Highway No. 35,
N 14 46' 30" E, passing the said overhead power line and
underground telephone cable and continuing on, in all, 338.04
feet to the POINT OF BEGINNING containing 1.18 acres of land of
which 0.13 acres lies within the monumented Right of Way of Hays
County Road No. 140. Surveyed February 27, 1984.

By *Kelly Kilber*
Kelly Kilber
Registered Public Surveyor #2219

SEVERN/REESE
FB. 158 PG. 19
PLAN NO. 1779
EO 84-14163
FNF#7736

STATE OF TEXAS }
COUNTY OF HAYS }

I hereby certify that this instrument was FILED on
the date and at the time stamped hereon by me and was duly
RECORDED, in the Volume and Page of the named RECORDS
of Hays County, Texas, as stamped hereon by me



MAR. 15 1985
Spencer B. Clayton
COUNTY CLERK
HAYS COUNTY, TEXAS

COUNTY CLERK

Spencer B. Clayton

FILED
HAYS COUNTY, TEXAS
85 MAR 14 PM 2 28

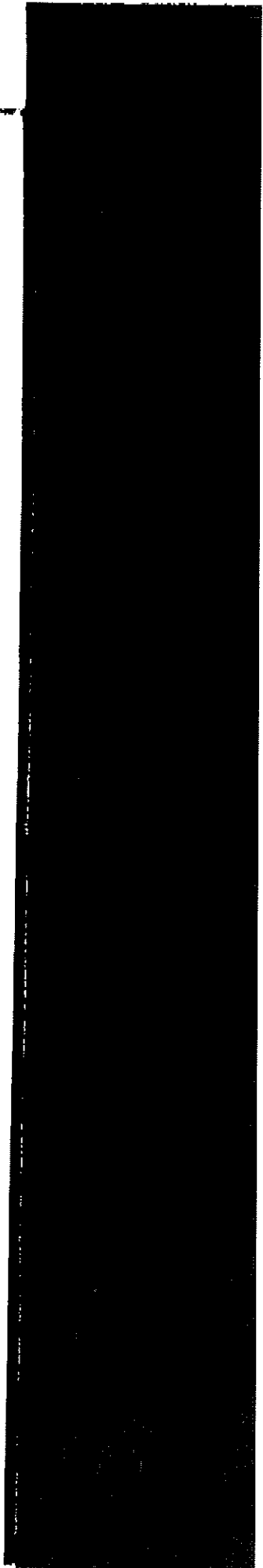
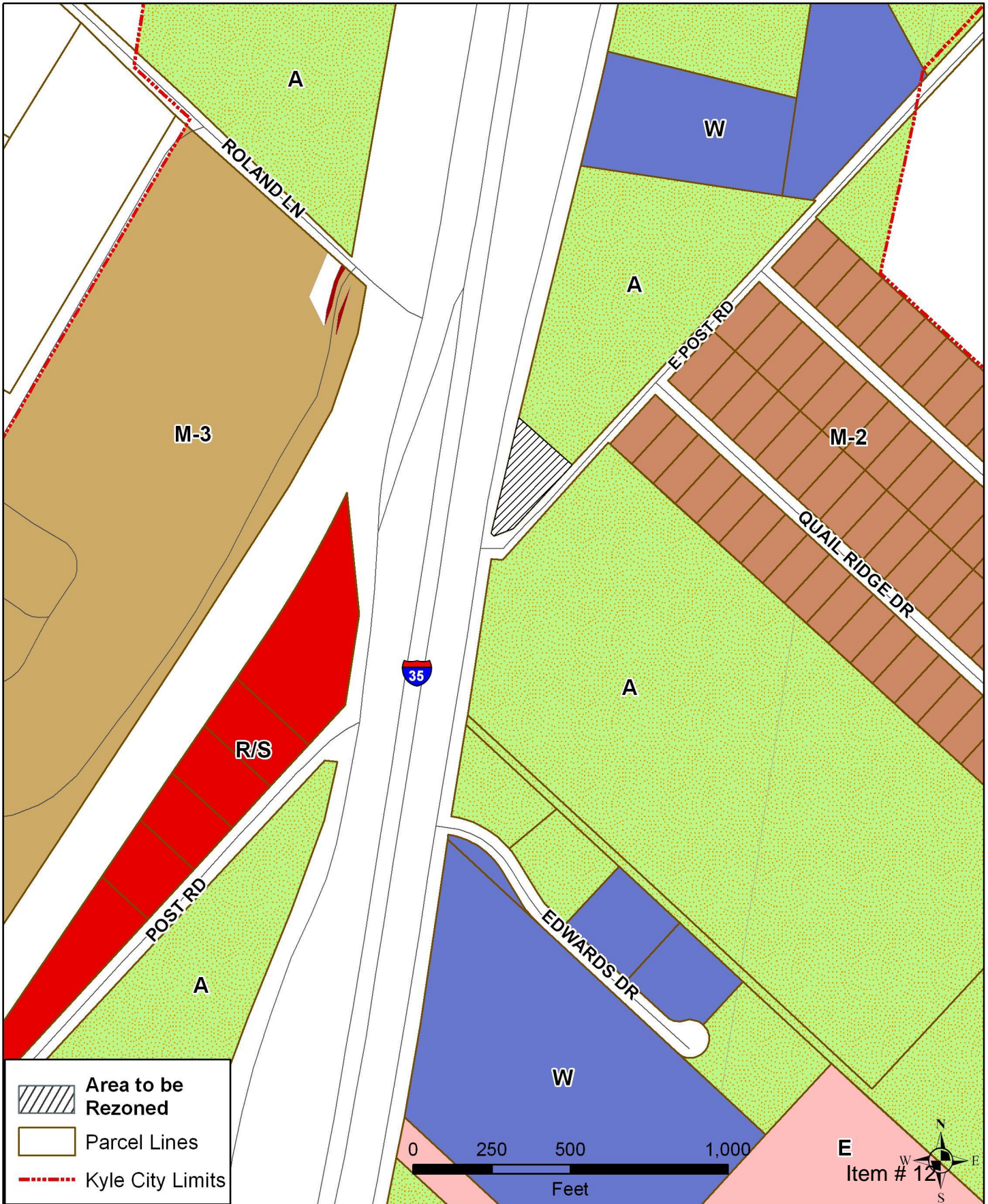
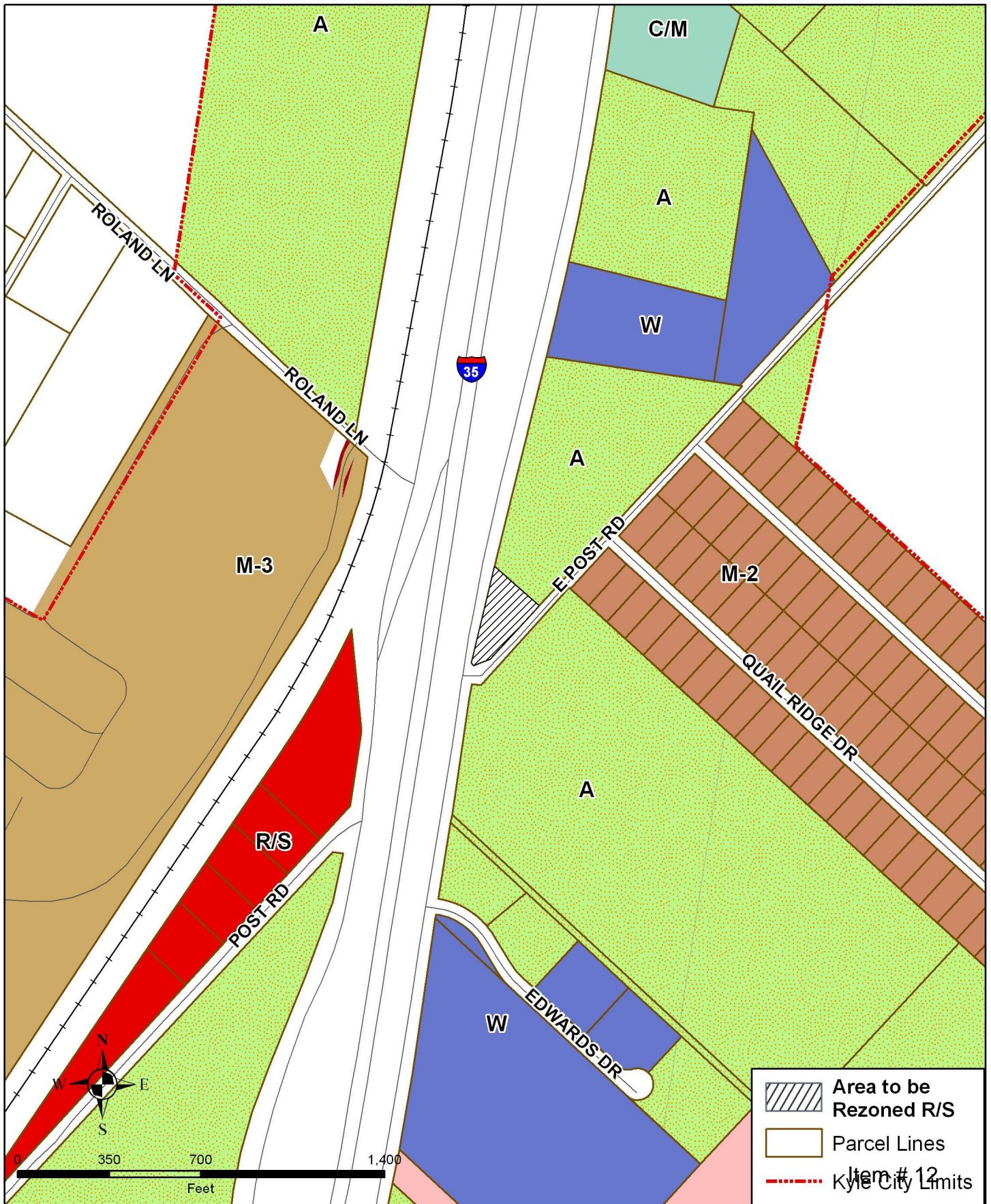


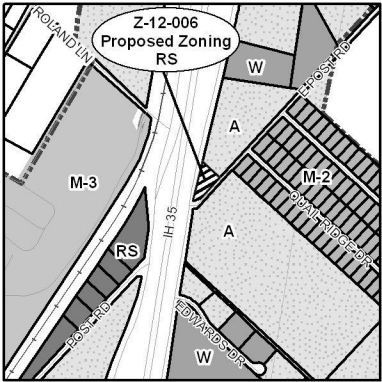
Exhibit B





Item # 12

Z-12-006
Proposed Zoning
RS





CITY OF KYLE, TEXAS

John Sanford

Meeting Date: 10/2/2012
Date time: 8:30 PM

Subject/Recommendation: Consider a request by John Sanford for an amendment to the City of Kyle Zoning Ordinance, Section 53-1230 Land Use Table to allow "Gun Shops" within the "CBD-2" Central Business District-2 Zoning District ~ *Sofia Nelson, Director of Planning*

Planning and Zoning Commission voted 5-2 to amend the City of Kyle Zoning Ordinance, Section 53-1230 Land Use Table to allow "Gun Shops" within the "CBD-2 District".

- *Public Hearing*

Other Information: Please see attachments

Budget Information: N/A

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

[Request Letter](#)

[Staff Report](#)

MEMO

To: City Council

From: Sofia Nelson, Director of Planning

Date: September 27, 2012

Re: Request to allow Gun Shops- within Central Business District 2 "CBD-2"

Background

John Sanford, owner of 109 Center Street, has requested a zoning ordinance amendment to allow "gun shops" within the CBD-2 zoning district. Currently gun shops are allowed in the following zoning districts: Retail Services "RS", Warehouse "W", and Construction Manufacturing "CM". The CBD-2 district is less restrictive than CBD-1 and principally addresses development in the original town and central area of the city, allowing a mix of uses including, office, restricted commercial, restricted multi-family residential and residential uses. The conditions and limitations on uses in the CBD-2 district are as follows:

- (1)The use be conducted wholly within an enclosed building.
- (2)Required yards and outdoor areas not be used for display, sale vehicles, equipment, containers or waste material, save and except for screened dumpster collection areas.
- (3)The use is not objectionable because of odor, excessive light, smoke, dust, noise, vibration or similar nuisance; and that, excluding that caused customer and employee vehicles, such odors, smoke, dust, noise or vibration be generally contained within the property.
- (4)Signs (advertising) must be in compliance with all applicable ordinances.
- (5)The conditions and limitations and permitted uses applicable to the district governing the proposed use of the property shall apply within the central business district 2.
- (6)Uses as determined by the planning and zoning commission and the council which are closely related and similar to those listed and that are not likely to create any more offensive noise, vibration, dust, heat, smoke, odor, glare, or other objectionable influences than the minimum amount normally resulting from listed uses permitted.

Planning and Zoning Commission

On September 25th the Planning and Zoning Commission recommended, with a vote of 5-2, to amend the zoning ordinance to allow "gun shops" within the CBD-2 zoning district.

Staff Recommendation

Staff has reviewed the use of a gun shop for consistency with the intent of the CBD2 district and has determined that the use will not create any more offensive noise, vibration, dust, heat, smoke, odor, glare, or other objectionable influences than the minimum amount normally resulting from listed uses permitted. The business must adhere to all signage requirements for the district and the location of the business and any exterior alternations will require a conditional use permit.

August 29, 2012

Sofia Nelson
City of Kyle Planning Department
Kyle, Tx 78640

Sent via e-mail to snelson@cityofkyle.com

Dear Ms Nelson:

I am a partner owner of the property located at 109 Center Street. Many people in Kyle know this building as the Original Kyle Bank Building. I have been approached by Mr. Hal Skaggs to lease the property to him for a gun shop.

It is my understanding that the current zoning CBD-2 does not allow gun shops. In this letter I am requesting that the city of Kyle zoning ordinance be amended to allow gun shops in CBD-2. As I am sure you are aware gun shops must also meet many BATFE and insurance requirements for safety, security, and alarms.

Best regards,

John

John B. Sanford, Realtor owner/agent of 109 Center Street
PO Box 8 Buda, Tx 78610
(512) 312-1301 ofc (512) 922-5633 mobile