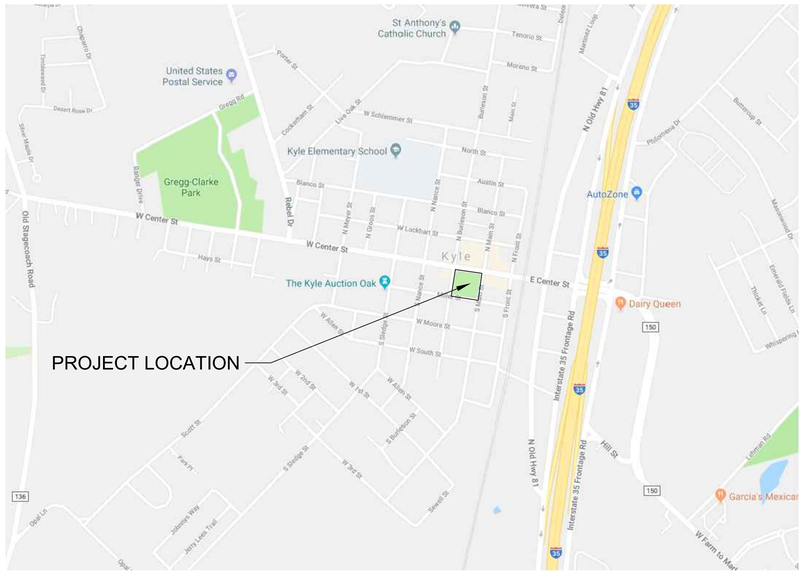
KRUG ACTIVITY CENTER

EXTERIOR HISTORIC REPAIRS

101 S. Burleson St. Kyle, TX 78640

CONTRACT DOCUMENTS

City of Kyle



OWNER:

City of Kyle

ARCHITECT OF RECORD:

Keith Simon, AIA

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BES SEALS:

KEITH A. SIMON 22107 REGISTERED ARCHITECT STATE OF TEXAS
1/9/19

CLIENT:
-

OWNER:
City of Kyle
100 W. Center St.
Kyle, TX 78640

REV	DATE	DESCRIPTION	BY

PROJECT:
CONTRACT DOCUMENTS
KRUG ACTIVITY CENTER
EXTERIOR HISTORIC REPAIRS
101 S BURLESON STREET
KYLE, TX 78640

PROJECT NO:	FW186070
DATE:	01/09/19
DRAWN BY:	KM
CHECKED BY:	KS
SCALE:	NTS

SHEET TITLE:
COVER

SHEET NO.:
A001

GENERAL NOTES

A. THIS IS A HISTORIC BUILDING. ALL WORK SHALL CONFORM TO "THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES" GO TO WWW.NPS.GOV.

B. PRIOR TO BEGINNING WORK THE GENERAL CONTRACTOR SHALL PERFORM A THOROUGH DOCUMENTATION OF THE AREAS OF WORK ON THE EXISTING BUILDING. WORK SHALL BE PERFORMED TO RETURN TO THE EXACT APPEARANCE OF THE EXISTING HISTORIC CONDITION. A COPY OF DOCUMENTATION SHALL BE PROVIDED TO THE ARCHITECT AND THE OWNER FOR REVIEW AT THE BEGINNING AND END OF THE PROJECT.

C. GENERAL CONTRACTOR IS TO ASSURE THAT ALL ASBESTOS OR LEAD CONTAINING MATERIALS ON SITE HAVE BEEN ABATED BEFORE COMMENCEMENT OF DEMOLITION WORK.

D. REFER TO SPECIFICATIONS FOR DETAILED REQUIREMENTS RELATED TO ALL SCOPES OF WORK. KEY NOTES SUMMARIZE SCOPE THAT IS DEFINED WITHIN THE SPECIFICATIONS.

E. PROTECT ALL SURFACES NOT SCHEDULED FOR WORK UNDER THIS CONTRACT. DAMAGE TO EXISTING FINISH SURFACES TO REMAIN SHALL BE CORRECTED BY THE CONTRACTOR OR SUBCONTRACTOR AT NO EXPENSE TO THE OWNER.

F. COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS FOR COLLECTION AND DISPOSAL OF RUNOFF FROM MASONRY RESTORATION. ENSURE ALL DISCHARGES FROM THE SITE ARE IN COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS. TEST ALL SITE RUNOFF AND MAINTAIN ACCURATE RECORDS TO VERIFY COMPLIANCE.

G. COORDINATE WORK AT ROOF WITH ROOF SUBCONTRACTOR TO MAINTAIN BUILDING IN WATERTIGHT CONDITION.

H. PROVIDE ON-SITE MOCK-UPS OF MASONRY CLEANING, REPAIR, IN-KIND REPLACEMENT AND RE-POINTING PER SPECS. MAINTAIN MOCK-UPS UNTIL COMPLETION OF WORK.

I. CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY READING THE PROJECT MANUAL AND REVIEWING ALL DRAWINGS. WHERE CONFLICT EXISTS BETWEEN THESE DOCUMENTS, INFORM THE ARCHITECT THROUGH SUBMISSION OF A REQUEST FOR INFORMATION.

J. VERIFY ALL DIMENSIONS AND COORDINATE ALL DRAWINGS WITH ACTUAL FIELD CONDITIONS PRIOR TO BIDDING ON THE PROJECT. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BIDDING.

K. CONTRACTOR TO COORDINATE EXTENT OF CONSTRUCTION FENCING, OTHER SITE PROTECTION MEASURES, SITE ACCESS ROUTES, AND/OR SITE STORAGE AREAS WITH OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY WORK ACTIVITIES.

GENERAL NOTES MASONRY HISTORIC REPAIR

A. CLEAN MASONRY SURFACES ONLY WHEN NECESSARY TO HALT DETERIORATION OR REMOVE HEAVY SOILING AS INDICATED ON THE DRAWINGS. CONDUCT MASONRY CLEANING TESTS ON 36" x 36" AREAS PRIOR TO WORK. TEST AREA LOCATIONS SHOULD BE SELECTED IN COORDINATION WITH THE ARCHITECT AND PRESERVATION SPECIALIST. AREAS SHOULD BE MONITORED OVER A SUFFICIENT PERIOD OF TIME TO ALLOW LONG RANGE EFFECTS TO BE PREDICTED. ARCHITECT APPROVAL OF MASONRY CLEANING MOCK-UPS IS REQUIRED TO PROCEED WITH CLEANING LARGER SECTIONS OF THE MASONRY WALL.
   1. CLEAN SURFACES WITH THE GENTLEST MEANS POSSIBLE PER SPECIFICATIONS.

B. SALVAGE AND RE-USE ORIGINAL BRICK MASONRY TO THE GREATEST EXTENT POSSIBLE.

C. REPAIR ORIGINAL BRICK MASONRY TO THE GREATEST EXTENT POSSIBLE USING RECOGNIZED BRICK MASONRY PRESERVATION METHODS.
   1. MOCK-UP OF BRICK MASONRY REPAIR FOR EACH TYPE OF REPAIR TO BE PERFORMED, TO BE APPROVED BY ARCHITECT AND PRESERVATION SPECIALIST. MOCK-UP SHOULD DEMONSTRATE QUALITY OF WORKMANSHIP, MATERIALS, AND BLENDING WITH ORIGINAL MASONRY ADJACENT TO THE REPAIR.

C. REPLACE IN KIND FOR EXTENSIVELY DETERIORATED OR MISSING COMPONENTS WHEN SURVIVING PROTOTYPES EXIST TO BASE RE-CREATION. WHEN REPLACEMENT IS NECESSARY, MATCH ORIGINAL BRICK MASONRY IN SIZE, MATERIAL COMPOSITION, DESIGN, DIMENSIONS, FINISH AND COLOR. BRICK SHOULD BE INSTALLED TO MATCH THE ORIGINAL BONDING AND COURSING PATTERN. SAMPLES AND MOCK-UPS TO BE APPROVED BY ARCHITECT AND PRESERVATION SPECIALIST. SAMPLES SHOULD SHOW FULL RANGE OF SHAPE, COLOR AND TEXTURE EXPECTED.

D. REPAIR MASONRY WALLS BY REPOINTING MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETERIORATION, SUCH AS DISINTEGRATED MORTAR, CRACKS IN MORTAR JOINTS, LOOSE BRICKS, OR DAMAGED PLASTER ON INTERIOR.
   1. REMOVE DETERIORATED LIME MORTAR CAREFULLY BY HAND RAKING THE JOINTS TO AVOID DAMAGING MASONRY.
   2. USING POWER TOOLS ONLY ON HORIZONTAL JOINTS ON BRICK MASONRY IN CONJUNCTION WITH HAND CHISELING TO REMOVE HARD MORTAR THAT IS DETERIORATED OR THAT IS A NON-HISTORIC MATERIAL WHICH IS CAUSING DAMAGE TO THE MASONRY UNITS. MECHANICAL TOOLS SHOULD BE USED ONLY BY SKILLED MASONS IN LIMITED CIRCUMSTANCES AND GENERALLY NOT ON SHORT, VERTICAL JOINTS IN BRICK MASONRY.
   3. DUPLICATING HISTORIC MORTAR JOINTS IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE WHEN REPOINTING IS NECESSARY. IN SOME CASES, A LIME-BASED MORTAR MAY ALSO BE CONSIDERED WHEN REPOINTING PORTLAND CEMENT MORTAR BECAUSE IT IS MORE HISTORICALLY APPROPRIATE.
   4. DUPLICATING HISTORIC MORTAR JOINTS IN WIDTH AND PROFILE WHEN REPOINTING IS NECESSARY.

E. WHEN REPLACEMENT IS NECESSARY, MORTAR TO MATCH EXISTING IN MATERIAL COMPOSITION, COLOR, TEXTURE AND POINTING TECHNIQUE.

F. MORTAR AND BRICK MASONRY TESTING IS REQUIRED TO PROVIDE DATA NECESSARY FOR REPLACEMENT UNITS AND MORTAR.

G. MASONS PERFORMING THE WORK SHOULD HAVE EXPERIENCE IN RECOGNIZED PRESERVATION REPAIR AND REPLACEMENT TECHNIQUES FOR HISTORIC BRICK MASONRY.

H. APPLY NON-HISTORIC SURFACE TREATMENTS, SUCH AS WATER-REPELLENT COATINGS, TO MASONRY ONLY AFTER REPOINTING PER THE ARCHITECTURAL DRAWINGS.

GENERAL NOTES STUCCO HISTORIC REPAIR

A. SIMILAR TO GUIDANCE GIVEN FOR BRICK MASONRY AND MORTAR. REPAIR STUCCO BY REMOVING THE DAMAGED MATERIAL AND PATCH WITH NEW STUCCO PER SPECIFICATIONS THAT DUPLICATES THE OLD IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE. REPLACEMENT TO MATCH EXISTING IN COMPOSITION, TEXTURE AND COLOR. SAMPLES AND MOCK-UPS TO BE APPROVED BY ARCHITECT AND PRESERVATION SPECIALISTS.

B. STUCCO TESTING IS REQUIRED TO PROVIDE DATA NECESSARY FOR REPLACEMENT.

GENERAL DEMOLITION NOTES

A. GENERAL CONTRACTOR IS TO CONTACT THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES TO THE DEMOLITION DOCUMENTS OF ANY UNFORESEEN CONDITIONS TO THE EXISTING BUILDINGS.

B. ALL MATERIALS DESIGNATED FOR SALVAGE BY OWNER SHALL BE REMOVED BY THE GENERAL CONTRACTOR AND ARE TO BE DELIVERED TO OWNER'S DESIGNATED AREA.

C. GENERAL CONTRACTOR IS TO ASSURE THAT ALL REMOVED MATERIALS FROM SITE ARE DISPOSED PROPERLY.

D. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING OTHER THAN THE DEMOLITION WORK INDICATED, AND IS TO REPAIR SUCH DAMAGE AT THE GENERAL CONTRACTOR'S EXPENSE. REPLACE ANY EXISTING CONSTRUCTION SO DAMAGED TO LIKE NEW CONDITION WITH APPROPRIATE HISTORIC MATERIALS..

E. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE TO COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE AND FEDERAL DEMOLITION CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUES AND ORDINANCES.

F. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION AND NEW WORK TO ALL EXISTING EXTERIOR BRICK AND CEMENTIOUS MATERIAL WITH SUBCONTRACTORS AS REQUIRED TO PREVENT INFILTRATION OF WATER OR CLEANING CHEMICALS INTO INTERIOR SPACES OF THE BUILDINGS. CRACKED MORTAR TO BE REMOVED VOIDS IN MORTAR JOINTS TO BE REPOINTED WITH TOOLED JOINTS TO MATCH EXISTING, LARGE CRACKS ON CEMENTIOUS MATERIAL TO BE FILLED WITH EPOXY AND FINISHED WITH MATERIAL TO MATCH EXISTING. ALL OF THIS WORK TO BE DONE BEFORE ANY FORM OF EXTERIOR CLEANING. ALL BRICK AND CAST STONE IS TO BE CLEANED OF ALL FOREIGN MATERIAL, TO INCLUDE DIRT, ALGAE, ENVIRONMENTAL POLLUTION, ECT. AND WHEN CLEANING USE THE GENTLEST MEANS POSSIBLE PER SPECIFICATIONS.

G. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION AND NEW WORK TO ALL EXISTING METAL GUTTERS, WOOD SOFFITS, WOOD ROOF RAKES AND WOOD FASCIAS TO DURING ROOF WORK TO ASSURE PROPER RESTORATION .

GENERAL NOTES WOOD HISTORIC REPAIR

A. CONTRACTOR TO DOCUMENT AREAS OF WOOD DETERIORATION AND CONSULT WITH ARCHITECT PROPOSED METHODS OF REPAIR AND REPLACEMENT FOR ALL ORIGINAL WOODEN ELEMENTS, PER SPECIFICATIONS.

B. REPAIR SECTIONS OF DAMAGED OR DETERIORATED WOOD INSTEAD OF REPLACING HISTORIC WOOD FEATURES. REPAIR ORIGINAL BUILDING FABRIC BY PATCHING, SPLICING, CONSOLIDATING, OR OTHER RECOGNIZED PRESERVATION METHODS, PER THE FOLLOWING REPAIR GUIDELINES:
   1. NO REPAIR - SAND DOWN TO NEXT SOUND LEVEL OF PAINT USING GENTLEST MEANS POSSIBLE; NEW PAINT COATING.
   2. BASIC REPAIR - NO WOOD DETERIORATION OBSERVED OR WOOD DETERIORATION IS LESS THAN $\frac{1}{8}$": PAINT MAY BE PEELING; SAND DOWN TO NEXT SOUND LEVEL OF PAINT USING GENTLEST MEANS POSSIBLE; NEW PAINT COATING.
   3. MINOR REPAIR - WOOD DETERIORATION OBSERVED, GREATER THAN $\frac{1}{8}$" DEEP, BUT LESS THAN $\frac{3}{8}$" OR HALF-MEMBER THICKNESS AND OCCUPIES LESS THAN 50% OF MEMBER SURFACE AREA. REPAIR WITH WOOD EPOXY CONSOLIDANT, IN ADDITION TO BASIC REPAIRS. NEW PAINT COATING.
   4. DUTCHMAN REPAIR - WOOD DETERIORATION OBSERVED, GREATER THAN $\frac{1}{8}$" DEEP, BUT LESS THAN HALF MEMBER THICKNESS AND OCCUPIES LESS THAN 50% OF MEMBER SURFACE AREA. REMOVE LOOSE OR ROTTED WOOD SECTIONS. CUTS INTO THE ORIGINAL WOOD ELEMENT TO BE SMOOTH AND STRAIGHT TO ENSURE A TIGHT DUTCHMAN JOINT; CHISEL OUT DAMAGED WOOD TO CREATE A STRAIGHT EDGE. REPAIR WITH WOOD ELEMENT OF SAME SPECIES. LEVEL THE REPAIR JOINT WITH THE ADJACENT WOOD ELEMENT. NEW PAINT COATING.

C. AFTER REPAIR OF DAMAGED WOOD ELEMENTS IS UNDERTAKEN, USE PROPER SURFACE PREPARATION AND REPAINTING TECHNIQUES TO ENSURE WOOD IS PROTECTED FROM FURTHER DECAY.

D. REPLACEMENT IS CONSIDERED THE LEAST PREFERRED METHOD OF REPAIR TO ORIGINAL HISTORIC WOODEN ELEMENTS. REPLACEMENT OF WHOLE SECTIONS OF WOODEN ELEMENTS IS NECESSARY IF WOOD DETERIORATION IS GREATER THAN 3/8" DEEP AND/OR MORE THAN 50% OF THE MEMBER SURFACE AREA. EXTENSIVELY DETERIORATED OR MISSING COMPONENTS OF WOOD FEATURES SHOULD BE RECREATED WHEN THERE IS SUFFICIENT DOCUMENTARY EVIDENCES, INCLUDING SURVIVING PROTOTYPES, HISTORICAL PHOTOGRAPHS, OR ORIGINAL CONSTRUCTION DRAWINGS. THE NEW WORK SHOULD MATCH THE OLD IN MATERIAL, DESIGN, SCALE, COLOR, AND FINISH.

E. SAMPLES OF REPLACEMENT WOOD ELEMENTS TO BE APPROVED BY ARCHITECT AND PRESERVATION SPECIALIST. MOCKUPS OF REPAIR AND REPLACEMENT TECHNIQUES TO FOLLOW ACCEPTED SPECIALIST. MOCKUPS OF REPAIR AND REPLACEMENT TECHNIQUES TO FOLLOW ACCEPTED PRESERVATION PRACTICES AND BE APPROVED BY ARCHITECT AND PRESERVATION SPECIALIST.

GENERAL NOTES ROOFING HISTORIC REPAIR

A. ROOF DEMOLITION AND REPLACEMENT SHALL BE COORDINATED BY THE ROOFING CONTRACTOR TO ENSURE THAT, AT NO TIME, IS ANY PORTION OF THE ROOF LEFT OPEN TO THE WEATHER OVERNIGHT.

B. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION AND NEW WORK TO ALL EXISTING EXTERIOR BRICK AND CEMENTITOUS MATERIAL WITH SUBCONTRACTORS AS REQUIRED TO PREVENT INFILTRATION OF WATER OR CLEANING CHEMICALS INTO INTERIOR SPACES OF THE BUILDINGS. CRACKED MORTAR TO BE REMOVED. VOIDS IN MORTAR JOINTS TO BE REPOINTED WITH MORTAR TO MATCH ORIGINAL IN COLOR, COMPOSITION, AND TEXTURE PER SPECIFICATIONS. ALL OF THIS WORK TO BE DONE BEFORE ANY FORM OF EXTERIOR CLEANING. ALL BRICK IS TO BE CLEANED OF ALL FOREIGN MATERIAL, TO INCLUDE DIRT, ALGAE, ENVIRONMENTAL POLLUTION, ETCETERA. USING GENTLEST MEANS POSSIBLE PER SPECIFICATIONS.

GENERAL NEW CONSTRUCTION NOTES

A. GENERAL CONTRACTOR TO ASSURE THAT NO ASBESTOS OR LEAD CONTAINING MATERIALS ARE ON SITE BEFORE COMMENCEMENT OF NEW WORK.

B. GENERAL CONTRACTOR IS TO ASSURE THAT ALL NEW MATERIALS ARE NON-ASBESTOS CONTAINING MATERIALS.

C. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING OTHER THAN THE NEW WORK INDICATED, AND IS TO REPAIR SUCH DAMAGE AT THE G.C. EXPENSE.

D. GENERAL CONTRACTOR IS TO COORDINATE NEW WORK WITH CONSTRUCTION DOCUMENTS AND EXISTING TO RETAIN HISTORICAL ELEMENTS.

E. GENERAL CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.

F. GENERAL CONTRACTOR TO COORDINATE WORK ACTIVITIES WITH THE OWNER THAT AFFECT ACCESS TO OR TIME DELAYS FOR THE USED OF THE EXISTING BUILDING.

G. GENERAL CONTRACTOR IS TO ASSURE THAT ALL VOIDS AND DAMAGED AREAS ON THE EXTERIOR WALLS, INTERIOR WALLS AND FLOORS ARE FILLED WITH MATERIAL TO MATCH EXISTING.

H. GENERAL CONTRACTOR IS TO SUBMIT A WORK PLAN AND METHODOLOGY DESCRIBING THE RESTORATION FOR EACH OF THE FOLLOWING:
   a. REPAIR AND RESTORATION OF BRICK PILASTERS
   b. REPAIR AND RESTORATION OF WOOD SOFFITS AND FASCIA
   c. CLEANING OF BRICK TO WASH AWAY EFFLORESCENCE

BUILDING CODES

OWNER	CITY OF KYLE
BES/TERRACON PROJECT NO.:	FW186070
PROJECT:	KRUG ACTIVITY CENTER EXTERIOR HISTORIC REPAIRS
LOCATION:	KYLE, TX
JURISDICTION:	HAYS
APPLICABLE CODES:	2015 INTERNATIONAL BUILDING CODES
	2015 INTERNATIONAL EXISTING BUILDING CODE
	2012 TEXAS ACCESSIBILITY STANDARDS
EXISTING BUILDING SQUARE FOOTAGE:	3000 SF
BUILDING HEIGHT:	1 STORY
OCCUPANCY:	ASSEMBLY – A3
CONSTRUCTION TYPE:	IIIB

ARCHITECTURAL SYMBOLS

- KEYNOTE
- DEMOLITION KEYNOTE
- ELEVATION HEIGHT
- REVISION
- ELEVATION
- SECTION DETAIL CALL OUT
- PLAN DETAIL CALL OUT
- 1 DETAIL NAME, Scale: X/X" = 1' - 0" — PLAN DETAIL CALL OUT
- NORTH ARROW

ARCHITECTURAL ABBREVIATIONS

ABV	ABOVE
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ALT	ALTERNATE
ANOD	ANODIZED
APPROX	APPROXIMATELY
BD	BOARD
BLDG	BUILDING
BOT	BOTTOM
CFCI	CONTRACTOR FURNISH CONTRACTOR INSTALL
CFOI	CONTRACTOR FURNISH OWNER INSTALL
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
DBL	DOUBLE
DEMO	DEMOLISH, DEMOLITION
DEPT	DEPARTMENT
DIA	DIAMETER
DIM	DIMENSION
DIV	DIVISION
DS	DOWN SPOUT
DTL	DETAIL
DWG	DRAWING
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ENCL	ENCLOSURE
EQ	EQUAL
EQUIP	EQUIPMENT
EXST	EXISTING
EXT	EXTERIOR
FBO	FURNISHED BY OWNERS
FFE	FINISH FLOOR ELEVATION
FE	FINISHED END
FLR	FLOOR
FOF	FACE OF FINISH
FT	FOOT
GA	GAUGE
CALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLASS
GR	GRADE
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HGT	HEIGHT
HORIZ	HORIZONTAL
INCL	INCLUDING
INT	INTERIOR
JT	JOINT
L	LENGTH/LONG
LH	LEFT HAND
MAS	MASONRY
MAX	MAXIMUM
MEMB	MEMBRANE
MTL	METAL
MFGR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MOD	MODULAR
N	NORTH
NO or #	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OFD	OVERFLOW DRAIN
OFF	OFFICE
OFOI	OWNER FURNISH OWNER INSTALL
OFCI	OWNER FURNISH CONTRACTOR INSTALL
OVH	OVERHEAD
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
PARA	PARALLEL
PERF	PERFORATED
PERI	PERIMETER
PLAS	PLASTER
PLYWD	PLYWOOD
PR	PAIR
PSF	POUND PER SQUARE FOOT
PSI	POUND PER SQUARE INCH
PT	PRESSURE TREATED
R	RADIUS
RD	ROOF DRAIN
REF	REFERENCE
REQ	REQUIRE (D) (ING)
REV	REVISION
S	SOUTH
SCHED	SCHEDULE
SECT	SECTION
SIM	SIMILAR
SPECS	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
ST	STONE
STD	STANDARD
STRUCT	STRUCTURAL
SYM	SYMMETRICAL
SYS	SYSTEM
TOSC	TOP OF STRUCTURAL STEEL
TOB	TOP OF BEAM
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WOOD
TYP	TYPICAL
UNO	UNLESS OTHERWISE NOTED
USC	UNDER SEPARATE CONTRACT
VB	VAPOR BARRIER
VERT	VERTICAL
VTR	VENT THROUGH ROOF
W	WEST
W/	WITH
WD	WOOD
WIN	WINDOW
W/O	WITHOUT
WS	WATER STOP
WSCT	WAINSCOT
WT	WEIGHT
WWF	WELDED WIRE FABRIC

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SHEET TITLE:
GENERAL NOTES

SHEET NO.:
A101

GENERAL NOTES

A. REFER TO GENERAL NOTES ON PAGE A101 - GENERAL NOTES.

B. THIS PAGE IS INTENDED TO BE PRINTED IN COLOR.

IMAGE 1: EAST ELEVATION: 1. EFFLORESCENCE WAS DETECTED AT THE BASE OF WALL THAT LIKELY OCCURRED DUE TO PROXIMITY OF SPRINKLERS. 2. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS. 3. WOOD SOFFITS ARE SAGGING AND IN SOME INSTANCES PULLING AWAY FROM ADJOINING STRUCTURE.

IMAGE 2: NORTH ELEVATION: 1. EFFLORESCENCE WAS DETECTED AT THE BASE OF WALL THAT LIKELY OCCURRED DUE TO PROXIMITY OF SPRINKLERS. 2. WOOD SOFFITS ARE SAGGING AND IN SOME INSTANCES PULLING AWAY FROM ADJOINING STRUCTURE. 3. DETERIORATION OF WOOD FASCIA. 4. DETERIORATION OF FASCIA RESULTING IN LOCALIZED SEPARATION OF THE GUTTER ASSEMBLY.

IMAGE 3: SOUTH ELEVATION: 1. EFFLORESCENCE WAS DETECTED AT THE BASE OF WALL THAT LIKELY OCCURRED DUE TO PROXIMITY OF SPRINKLERS. 2. WOOD SOFFITS ARE SAGGING AND IN SOME INSTANCES PULLING AWAY FROM ADJOINING STRUCTURE. 3. DETERIORATION OF WOOD FASCIA. 4. DETERIORATION OF FASCIA RESULTING IN LOCALIZED SEPARATION OF THE GUTTER ASSEMBLY.

IMAGE 4: WEST ELEVATION: 1. EFFLORESCENCE WAS DETECTED AT THE BASE OF WALL THAT LIKELY OCCURRED DUE TO PROXIMITY OF SPRINKLERS. 2. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS. 3. WOOD SOFFITS ARE SAGGING AND IN SOME INSTANCES PULLING AWAY FROM ADJOINING STRUCTURE.

IMAGE 5: SPRINKLER HEAD: 1. EFFLORESCENCE WAS DETECTED AT THE BASE OF WALL THAT LIKELY OCCURRED DUE TO PROXIMITY OF SPRINKLERS.

IMAGE 6: NORTH ELEVATION: 1. EFFLORESCENCE WAS DETECTED AT THE BASE OF WALL THAT LIKELY OCCURRED DUE TO PROXIMITY OF SPRINKLERS.

IMAGE 7: SOUTH ELEVATION: 1. EFFLORESCENCE WAS DETECTED AT THE BASE OF WALL THAT LIKELY OCCURRED DUE TO PROXIMITY OF SPRINKLERS.

IMAGE 8: SOUTH ELEVATION: 1. EFFLORESCENCE WAS DETECTED AT THE BASE OF WALL THAT LIKELY OCCURRED DUE TO PROXIMITY OF SPRINKLERS.

17 / A601

IMAGE 9: WEST ELEVATION: 1. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS. 2. WOOD SOFFITS ARE SAGGING AND IN SOME INSTANCES PULLING AWAY FROM ADJOINING STRUCTURE.

IMAGE 10: EAST ELEVATION: 1. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS. 2. WOOD SOFFITS ARE SAGGING AND IN SOME INSTANCES PULLING AWAY FROM ADJOINING STRUCTURE.

IMAGE 11: WEST ELEVATION: 1. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS. 2. WOOD SOFFITS ARE SAGGING AND IN SOME INSTANCES PULLING AWAY FROM ADJOINING STRUCTURE.

IMAGE 12: TYPICAL STUCCO TO BRICK TRANSITION: SEPARATION AT JOINT BETWEEN STUCCO AND BRICK.

IMAGE 13: NORTH WEST MASONRY PILASTER: 1. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS.

IMAGE 14: SOUTH WEST MASONRY PILASTER: 1. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS.

IMAGE 15: NORTH EAST MASONRY PILASTER: 1. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS.

IMAGE 16: SOUTH EAST MASONRY PILASTER: 1. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS AND LOOSE SHIFTING BRICKS.

IMAGE 17: WEST ELEVATION: 1. PILASTER BRICK AND MASONRY CAP DISPLAYED SIGNIFICANT DAMAGE WITH OPEN AND FAILING MORTAR JOINTS AND LOOSE SHIFTING BRICKS.

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STATE OF TEXAS

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SCALE:	

SHEET TITLE:
EXISTING PHOTO DETIALS

SHEET NO.:
A111

IMAGE 1: ROOF: VENT AND PLUMBING PENETRATIONS THROUGH THE METAL ROOF WERE IN FUNCTIONAL CONDITION WITH THE EXCEPTION OF THE VENT PIPE ASSOCIATED WITH THE WATER HEATER AND INTERIOR LEAK. EXPOSED FASTENERS AND TEMPORARY SEALANT AT THE HOT WATER VENT STACK PENETRATION.

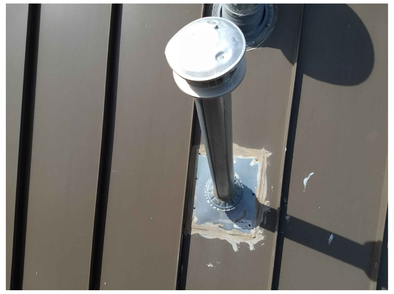

IMAGE 2: ROOF: VENT AND PLUMBING PENETRATIONS THROUGH THE METAL ROOF WERE IN FUNCTIONAL CONDITION WITH THE EXCEPTION OF THE VENT PIPE ASSOCIATED WITH THE WATER HEATER AND INTERIOR LEAK. EXPOSED FASTENERS AND TEMPORARY SEALANT AT THE HOT WATER VENT STACK PENETRATION.

IMAGE 3: ROOF: EXISTING SEALANT IS TEMPORARY SEALANT.

IMAGE 4: ROOF:DETERIORATING SEALANT WAS NOTED AT THE INTERSECTION OF THE METAL ROOF PANELS TO DORMERS. THE INTERSECTION OF DORMER ROOF TO THE METAL ROOF PANELS DOES NOT HAVE A FLASHING AND INSTEAD RELIES ON SEALANT TO MAINTAIN A WATER TIGHT INTERSECTION.

IMAGE 5: GUTTERS: GUTTER ASSEMBLY HAS LOST SECUREMENT TO THE WOOD FASCIA. DETERIORATED WOOD FASCIA AND COMPONENTS ARE NO LONGER PROVIDING SECURE AND SAFE SUBSTRATE FOR THE ATTCHMENT OF GUTTER ASSEMBLY.

IMAGE 6: GUTTERS: EXCESSIVE DEBRIS IN THE GUTTER OBSTRUCTING GUTTERS AND DOWNSPOUTS MAY CONTRIBUTE TO GUTTER OVERFLOW.

IMAGE 7: GUTTERS: DETERIORATED METAL AT SEAMS OF GUTTER.

IMAGE 8: STUCCO: HOLE IN STUCCO AT TRANSITION FROM METAL ROOF TO STUCCO ALLOWS WATER INTO EXTERIOR WALL CONSTRUCTION.

IMAGE 9: ARCH OVER ENTRYWAYS: SEVERAL AREAS AT ALL LOCATIONS SHOW DETERIORATION AT THE EDGE OF THE CEMENT WASH AND OPENINGS AT THE INTERSECTION OF THE SHEET METAL FLASHINGS. ALSO, SIGNIFICANT DETERIORATION OF THE ADJOINING MASONRY, ALLOWING AN ENTRY POINT FOR MOISTURE.

IMAGE 10: ARCH OVER ENTRYWAYS: SEVERAL AREAS AT ALL LOCATIONS SHOW DETERIORATION AT THE EDGE OF THE CEMENT WASH AND OPENINGS AT THE INTERSECTION OF THE SHEET METAL FLASHINGS. ALSO, SIGNIFICANT DETERIORATION OF THE ADJOINING MASONRY, ALLOWING AN ENTRY POINT FOR MOISTURE.

IMAGE 11: ARCH OVER ENTRYWAYS: SEVERAL AREAS AT ALL LOCATIONS SHOW DETERIORATION AT THE EDGE OF THE CEMENT WASH AND OPENINGS AT THE INTERSECTION OF THE SHEET METAL FLASHINGS. ALSO, SIGNIFICANT DETERIORATION OF THE ADJOINING MASONRY, ALLOWING AN ENTRY POINT FOR MOISTURE.

IMAGE 12: ARCH OVER ENTRYWAYS: SEVERAL AREAS AT ALL LOCATIONS SHOW DETERIORATION AT THE EDGE OF THE CEMENT WASH AND OPENINGS AT THE INTERSECTION OF THE SHEET METAL FLASHINGS. ALSO, SIGNIFICANT DETERIORATION OF THE ADJOINING MASONRY, ALLOWING AN ENTRY POINT FOR MOISTURE.

GENERAL NOTES

A. REFER TO GENERAL NOTES ON PAGE A101 - GENERAL NOTES.

B. THIS PAGE IS INTENDED TO BE PRINTED IN COLOR.

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PROJECT:
CONTRACT DOCUMENTS
KRUG ACTIVITY CENTER
EXTERIOR HISTORIC REPAIRS
100 S BURLESON STREET
KYLE, TX 78640

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SHEET TITLE:
EXISTING PHOTO DETAILS

SHEET NO.:
A112

IMAGE 1: WOOD: CHIPPING PAINT ON SOFFIT AND SOFFIT ORNAMENTAL ELEMENTS.

IMAGE 2: WOOD: SOFFITS SAGGING AND PULLING AWAY FROM THE STRUCTURE. DETERIORATION AT THE TOP OF THE ENTRANCE WAY MASONRY IS RESULTING IN WATER ENTRY IN THESE AREAS, CONTRIBUTING TO VISIBLE DAMAGE TO WOOD FASCIA AND SOFFIT ASSEMBLIES AND LIKELY DAMAGE TO UNDERLYING WOOD DECK AND SUPPORT MEMBERS.

IMAGE 2: WOOD: SOFFITS SAGGING AND PULLING AWAY FROM THE STRUCTURE. DETERIORATION AT THE TOP OF THE ENTRANCE WAY MASONRY IS RESULTING IN WATER ENTRY IN THESE AREAS, CONTRIBUTING TO VISIBLE DAMAGE TO WOOD FASCIA AND SOFFIT ASSEMBLIES AND LIKELY DAMAGE TO UNDERLYING WOOD DECK AND SUPPORT MEMBERS.

IMAGE 4: WOOD: WOOD FASCIA AT THE RAKE OF THE ROOF APPEARS TO BE THE RESULT OF FAILING PAINT AND AGED, DETERIORATED WOOD FASCIA. DETERIORATED AND WEAKENED WOOD ABOVE THE SOFFITS PROVIDES AN ACCESSIBLE ENTRY POINT FOR RODENTS, INSECTS AND BIRDS. ALSO, DETERIORATED WOOD FASCIA HAS RESULTED IN LOCALIZED SEPARATION OF THE GUTTER ASSEMBLY.

IMAGE 5: WOOD: SOFFITS SAGGING AND PULLING AWAY FROM THE STRUCTURE. DETERIORATION OF WOOD COMPONENTS AND STRUCTURAL THERMAL MOVEMENT HAVE RESULTED IN LOSS OF POSITIVE SECUREMENT OF THESE SOFFIT ASSEMBLIES WHICH IS A SAFETY CONCERN.

IMAGE 6: WOOD: SOFFITS SAGGING AND PULLING AWAY FROM THE STRUCTURE. DETERIORATION OF WOOD COMPONENTS AND STRUCTURAL THERMAL MOVEMENT HAVE RESULTED IN LOSS OF POSITIVE SECUREMENT OF THESE SOFFIT ASSEMBLIES WHICH IS A SAFETY CONCERN.

IMAGE 7: WOOD: SOFFITS SAGGING AND PULLING AWAY FROM THE STRUCTURE. GUTTERS WATER GETTING BACKED UP IN THE GUTTER DUE TO DEBRIS BLOCKING THE DOWNSPOUTS IS BACKING INTO THE OVERHANG STRUCTURE IS BELIEVED TO BE CAUSING DAMAGE TO FASCIA AND SOFFITS.

IMAGE 8: WOOD: WOOD SOFFIT AND FASCIA DETERIORATION SEAM INCONSISTENT WITH THE RECENT METAL ROOF INSTALLATION, INDICATING THE EXISTING SOFFITS AND FASCIA WERE NOT REPLACED RECENTLY BUT LIKELY REPAINTED. IN ISOLATED INSTANCES FAILURE DUE TO THE GUTTER SEAMS HAS CONTRIBUTED TO THE DETERIORATION.

IMAGE 9: WOOD: SOFFITS SAGGING AND PULLING AWAY FROM THE STRUCTURE. DEBRIS OBSTRUCTING THE GUTTER AND DOWNSPOUTS MAY CONTRIBUTE TO GUTTER OVERFLOW DURING RAIN EVENTS.

IMAGE 10: WOOD SOFFIT AND FASCIA DETERIORATION SEAM INCONSISTENT WITH THE RECENT METAL ROOF INSTALLATION, INDICATING THE EXISTING SOFFITS AND FASCIA WERE NOT REPLACED RECENTLY BUT LIKELY REPAINTED. IN ISOLATED INSTANCES FAILURE DUE TO THE GUTTER SEAMS HAS CONTRIBUTED TO THE DETERIORATION.

IMAGE 11: WOOD SOFFIT AND FASCIA DETERIORATION SEAM INCONSISTENT WITH THE RECENT METAL ROOF INSTALLATION, INDICATING THE EXISTING SOFFITS AND FASCIA WERE NOT REPLACED RECENTLY BUT LIKELY REPAINTED. IN ISOLATED INSTANCES FAILURE DUE TO THE GUTTER SEAMS HAS CONTRIBUTED TO THE DETERIORATION.

GENERAL NOTES

A. REFER TO GENERAL NOTES ON PAGE A101 - GENERAL NOTES.

B. PAINT ALL EXISTING WOOD SOFFITS, SOFFIT ORNAMENTAL WOOD, FASCIAS AND TRIM PER HISTORIC REQUIREMENTS FOUND IN SPECIFICATIONS AND IN GENERAL NOTES ON SHEET A101 GENERAL NOTES.

C. REPAIR DAMAGED WOOD FASCIAS, SOFFITS AND TRIM BY ACCEPTABLE METHODS DESCRIBED IN SPECIFICATIONS.

D. THIS PAGE IS INTENDED TO BE PRINTED IN COLOR.

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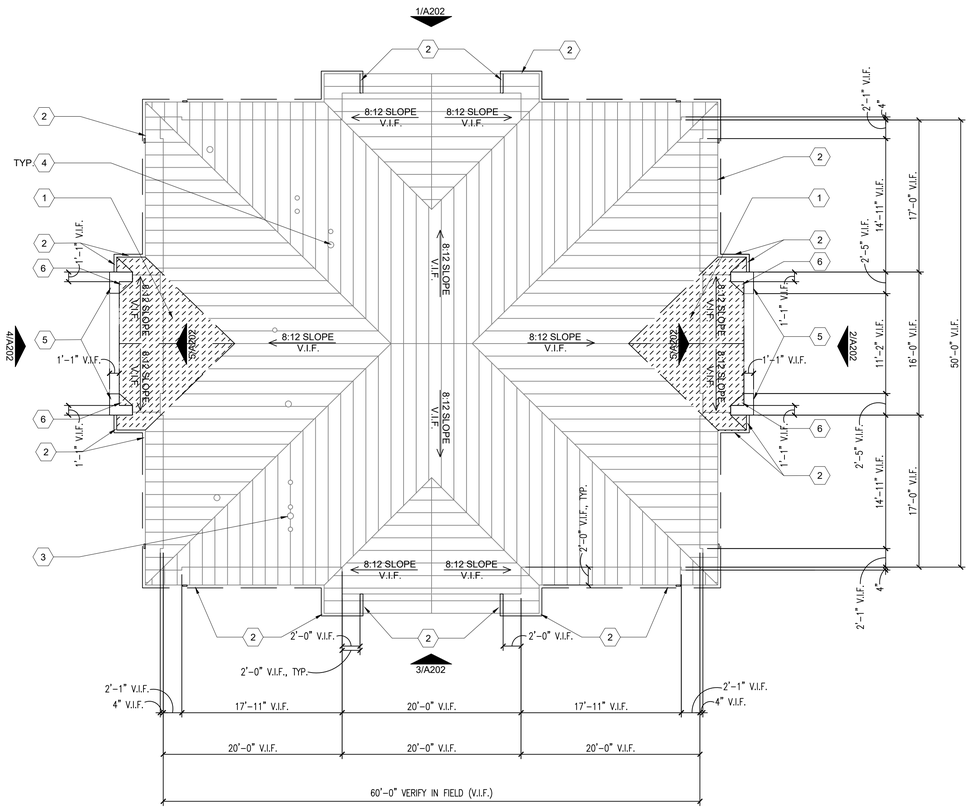
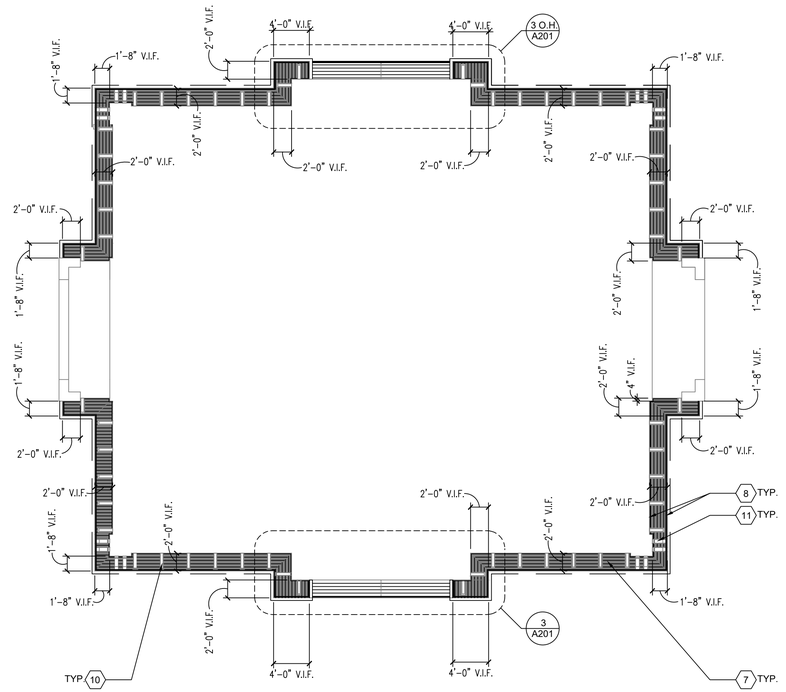
SHEET TITLE:
EXISTING PHOTO DETIALS

SHEET NO.:
A113



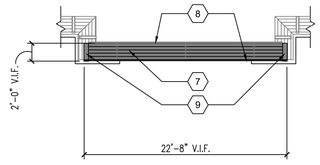
1 DEMOLITION ROOF PLAN

Scale: 1/8" = 1' - 0"



2 DEMOLITION SOFFIT PLAN

Scale: 1/8" = 1' - 0"



3 DEMOLITION PARTIAL SOFFIT PLAN

Scale: 1/8" = 1' - 0"

GENERAL NOTES

A. REFER TO GENERAL NOTES ON PAGE A101 - GENERAL NOTES.

B. DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL EXTENT OF WORK REQUIRED. BIDDERS SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF WORK REQUIRED PRIOR TO BIDDING.

C. ALL DIMENSIONS INCLUDED ON THESE PLANS ARE APPROXIMATE AND ARE PROVIDED FOR INFORMATION ONLY. DIMENSIONS SHOULD BE FIELD VERIFIED PRIOR TO BIDDING.

D. CAREFULLY PROTECT ALL EXISTING CONSTRUCTION TO REMAIN DURING DEMOLITION ACTIVITIES. REPLACE ANY EXISTING CONSTRUCTION SO DAMAGED TO LIKE NEW CONDITION WITH APPROPRIATE HISTORIC MATERIALS.

E. PATCH AND REPAIR EXISTING CONSTRUCTION TO REMAIN WHERE IT ADJOINS SELECTIVE DEMOLISHED WORK AS REQUIRED.

F. VERIFY DISPOSITION OF ITEMS TO BE REMOVED DURING SELECTIVE DEMOLITION WITH OWNER'S REPRESENTATIVE. STORE ITEMS DESIRED TO BE RETAINED BY OWNER IN LOCATIONS AS DIRECTED BY OWNER'S REPRESENTATIVE. ANY ITEMS NOT DESIRED TO BE RETAINED BY THE OWNER BECOME PROPERTY OF THE CONTRACTOR AND ARE NOT TO BE REMOVED FROM THE SITE.

G. REPLACE ALL ROOF SEALANT WITH NEW SEALANT.

H. AT ALL ROOF PENETRATIONS REMOVE DEKTITE PENETRATION FLASHINGS AND PROVIDE NEW DEKTITE PENETRATION FLASHINGS.

PLAN LEGEND

- DEMOLISH METAL ROOF PANELS AT HATCHED AREA ONLY.
- TEST WOOD OF SOFFIT AND REPAIR AND REPLACE AS NECESSARY AND PER SPECIFICATIONS AND GENERAL NOTES A101
- TRIM DETERIORATED WOOD AND PROVIDE METAL FLASHING AT THIS LOCATION.
- EXISTING ROOF TO REMAIN
- EXISTING CONDITIONS TO REMAIN LINES
- DEMOLITION LINES

DEMOLITION KEYNOTES

1. REMOVE EXISTING STANDING SEAM METAL ROOF AND ASSOCIATED FLASHING AT THIS LOCATION ONLY.
2. REMOVE EXISTING GUTTERS AND ASSOCIATED DOWNSPOUTS. TYPICAL.
3. REMOVE METAL FLASHING AROUND PENETRATION.
4. REMOVE DEKTITE PENETRATION FLASHING. TYPICAL AT ALL PENETRATIONS.
5. DOCUMENT, REMOVE, SALVAGE AND STORE FOR REINSTALLATION BRICK AT PILASTER TO EXTENT SHOWN ON DRAWINGS. INFORM ARCHITECT IF THERE ARE BRICKS BELOW EXTENTS SHOWN THAT ARE DAMAGED OR NO LONGER HELD IN PLACE DUE TO MORTAR FAILURE. DOCUMENT EXISTING CONDITION OF BRICK PILASTER IN PLAN, SECTION, AND ELEVATION (ALL FOUR SIDES) PRIOR TO DEMOLITION.
6. REMOVE METAL CRICKET.
7. DOCUMENT EXISTING CONDITIONS WITH PLAN DRAWINGS AND PHOTOGRAPHS AND TEST INTEGRITY OF THE WOOD SOFFITS. WHERE WOOD IS DETERIORATED TO THE EXTENT THAT REPLACEMENT MY BE REQUIRED DOCUMENT LOCATION, SIZE AND TYPE OF REPAIR NEEDED AND PROVIDE TO ARCHITECT AND PRESERVATION SPECIALIST FOR THEIR REVIEW AND APPROVAL. PREPARE ALL OF THE WOOD SOFFIT TO RECEIVE NEW PAINT.
8. DOCUMENT EXISTING CONDITIONS WITH PLANS, SECTION DETAILS AND PHOTOS AND TEST INTEGRITY OF WOOD TRIM AND REPAIR AS NEEDED PER SPECIFICATIONS AND SHEET A101 GENERAL NOTES. CONTACT ARCHITECT AND PRESERVATION SPECIALIST FOR APPROVAL OF WOOD THAT IS DETERIORATED TO THE EXTENT THAT REPLACEMENT MAY BE REQUIRED. PREPARE ALL OF THE WOOD TRIM TO RECEIVE NEW PAINT.
9. CUT BACK DETERIORATED WOOD AT THE BOTTOM OF THE SOFFIT TO SOUND WOOD AND PREPARE AREA TO RECEIVE A DUTCHMAN REPAIR.
10. DOCUMENT EXISTING CONDITIONS WITH PLAN DRAWINGS AND PHOTOGRAPHS AND TEST INTEGRITY OF THE 1'-8" x 5 ¾" VERIFY IN FIELD (V.I.F.) WOOD OUTRIGGERS. WHERE WOOD IS DETERIORATED TO THE EXTENT THAT REPLACEMENT MY BE REQUIRED DOCUMENT LOCATION, SIZE AND TYPE OF REPAIR NEEDED AND PROVIDE TO ARCHITECT AND PRESERVATION SPECIALIST FOR THEIR REVIEW AND APPROVAL. PREPARE WOOD OUTRIGGERS TO RECEIVE NEW PAINT. TYPICAL.
7. DOCUMENT EXISTING CONDITIONS WITH PLAN DRAWINGS AND PHOTOGRAPHS AND TEST INTEGRITY OF THE 1'-4" x 5 ¾" (V.I.F.) WOOD ORNAMENTAL OUTRIGGER. PREPARE WOOD TO RECEIVE NEW PAINT. TYPICAL

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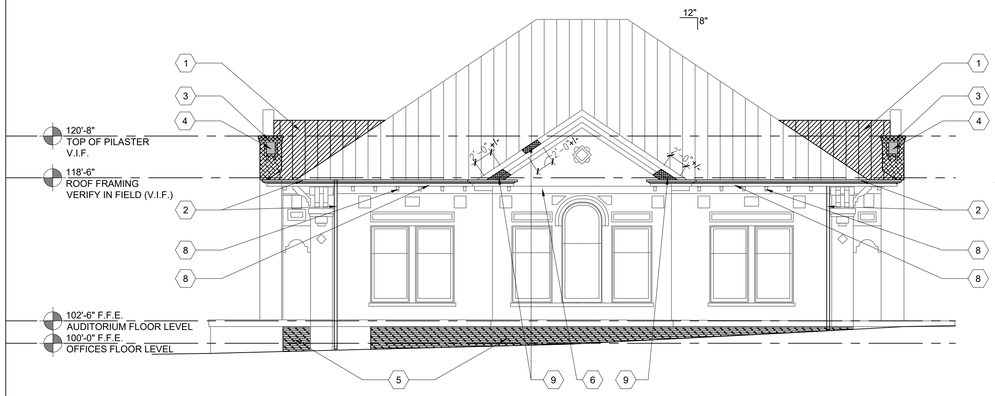
SCALE:	

SHEET TITLE:
DEMOLITION ROOF PLAN AND ELEVATIONS

SHEET NO.:
A201



1 DEMOLITION NORTH ELEVATION

Scale: 1/8" = 1' - 0"

2 DEMOLITION EAST ELEVATION

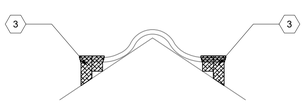
Scale: 1/8" = 1' - 0"

3 DEMOLITION SOUTH ELEVATION

Scale: 1/8" = 1' - 0"

4 DEMOLITION WEST ELEVATION

Scale: 1/8" = 1' - 0"



5 DEMOLITION PARTIAL ELEVATION

Scale: 1/8" = 1' - 0"

GENERAL NOTES

A. REFER TO GENERAL NOTES ON PAGE A101 - GENERAL NOTES.

B. DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL EXTENT OF WORK REQUIRED. BIDDERS SHALL FIELD VERIFY EXISTING CONDITIONS AND EXTENT OF WORK REQUIRED PRIOR TO BIDDING.

C. ALL DIMENSIONS INCLUDED ON THESE PLANS ARE APPROXIMATE AND ARE PROVIDED FOR INFORMATION ONLY. DIMENSIONS SHOULD BE FIELD VERIFIED PRIOR TO BIDDING.

D. CAREFULLY PROTECT ALL EXISTING CONSTRUCTION TO REMAIN DURING DEMOLITION ACTIVITIES. REPLACE ANY EXISTING CONSTRUCTION SO DAMAGED TO LIKE NEW CONDITION WITH APPROPRIATE HISTORIC MATERIALS.

E. PATCH AND REPAIR EXISTING CONSTRUCTION TO REMAIN WHERE IT ADJOINS SELECTIVE DEMOLISHED WORK AS REQUIRED.

F. VERIFY DISPOSITION OF ITEMS TO BE REMOVED DURING SELECTIVE DEMOLITION WITH OWNER'S REPRESENTATIVE. STORE ITEMS DESIRED TO BE RETAINED BY OWNER IN LOCATIONS AS DIRECTED BY OWNER'S REPRESENTATIVE. ANY ITEMS NOT DESIRED TO BE RETAINED BY THE OWNER BECOME PROPERTY OF THE CONTRACTOR AND ARE NOT TO BE REMOVED FROM THE SITE.

G. REPLACE ALL ROOF SEALANT WITH NEW SEALANT.

H. AT ALL ROOF PENETRATIONS REMOVE DEKTITE PENETRATION FLASHINGS AND PROVIDE NEW DEKTITE PENETRATION FLASHINGS.

I. OWNER TO REMOVE CHRISTMAS LIGHTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO COORDINATE WITH OWNER WHEN CHRISTMAS LIGHTS SHOULD BE REMOVED AND STORED FOR REINSTALLATION AFTER CONSTRUCTION.

PLAN LEGEND

- DEMOLISH METAL ROOF PANELS AT HATCHED AREA ONLY.
- DOCUMENT, REMOVE, STORE AND REINSTALL BRICK AT PILASTER TO HATCHED AREA EXTENTS. REFER TO KEYNOTE 3.
- AREA OF EFFLORESCENCE ON BRICK THAT NEEDS TO BE CLEANED. CLEANING METHODS DESCRIBED IN SPECIFICATIONS AND GENERAL NOTES SHEET A101
- DOCUMENT, REMOVE AND TEST COMPOSITION OF EXISTING STUCCO ACCENTS. REFER TO KEYNOTE 4.
- DOCUMENT DEGRADED WOOD TRIM TO BE REPAIRED PER SPECIFICATIONS AND GENERAL NOTES SHEET A101. REFER TO KEYNOTE 9.
- EXISTING ROOF TO REMAIN
- EXISTING CONDITIONS LINE TYPE
- DEMOLITION LINE TYPE
- BELOW GRADE LINE TYPE

DEMOLITION KEYNOTES

1. REMOVE EXISTING STANDING SEAM METAL ROOF AND ASSOCIATED ACCESSORIES AND FLASHING AT THIS LOCATION ONLY.
2. REMOVE EXISTING GUTTERS AND ASSOCIATED DOWNSPOUTS. TYPICAL.
3. DOCUMENT, REMOVE, SALVAGE AND STORE FOR REINSTALLATION BRICK AT PILASTER TO EXTENT SHOWN ON DRAWINGS. INFORM ARCHITECT IF THERE ARE BRICKS BELOW EXTENTS SHOWN THAT ARE DAMAGED OR NO LONGER HELD IN PLACE DUE TO MORTAR FAILURE. DOCUMENT EXISTING CONDITION OF BRICK PILASTER IN PLAN, SECTION, AND ELEVATION (ALL FOUR SIDES) PRIOR TO DEMOLITION.
4. DOCUMENT, REMOVE AND TEST COMPOSITION OF EXISTING STUCCO ACCENTS IN PILASTERS. TEST EXISTING STUCCO COMPOSITION IN ORDER TO MATCH THE PROPERTIES, COLOR AND TEXTURE OF THE EXISTING STUCCO WHEN REPLACED AS DIRECTED IN NEW CONSTRUCTION DRAWINGS (PLANS AND ELEVATIONS). DOCUMENT EXISTING CONDITION OF STUCCO IN PILASTER IN PLAN, SECTION, AND ELEVATION PRIOR TO DEMOLITION. REFER TO SPECIFICATIONS AND SHEET A101 GENERAL NOTES.
5. HATCHED AREA INDICATES ARE OF BRICK TO BE CLEANED OF EFFLORESCENCE AS DESCRIBED IN SPECIFICATIONS AND GENERAL NOTES ON SHEET A101.
6. PREPARE EXISTING TO REMAIN WOOD TRIM TO RECEIVE NEW PAINT TYPICAL
7. DOCUMENT EXISTING CONDITIONS WITH PLANS, SECTION DETAILS AND PHOTOS AND TEST INTEGRITY OF WOOD TRIM AND REPAIR AS NEEDED PER SPECIFICATIONS AND SHEET A101 GENERAL NOTES. CONTACT ARCHITECT AND PRESERVATION SPECIALIST FOR APPROVAL OF WOOD THAT IS DETERIORATED TO THE EXTENT THAT REPLACEMENT MAY BE REQUIRED. PREPARE ALL OF THE WOOD TRIM TO RECEIVE NEW PAINT.
8. PROTECT 1'-8" x 5 ½" VERIFY IN FIELD (V.I.F.) WOOD OUTRIGGERS TO REMAIN. PREPARE WOOD OUTRIGGERS TO RECEIVE NEW PAINT. TYPICAL.
9. HATCHED AREA REPRESENTS DAMAGED WOOD NEEDING REPAIR IN A DUTCHMAN LIKE MANNER.

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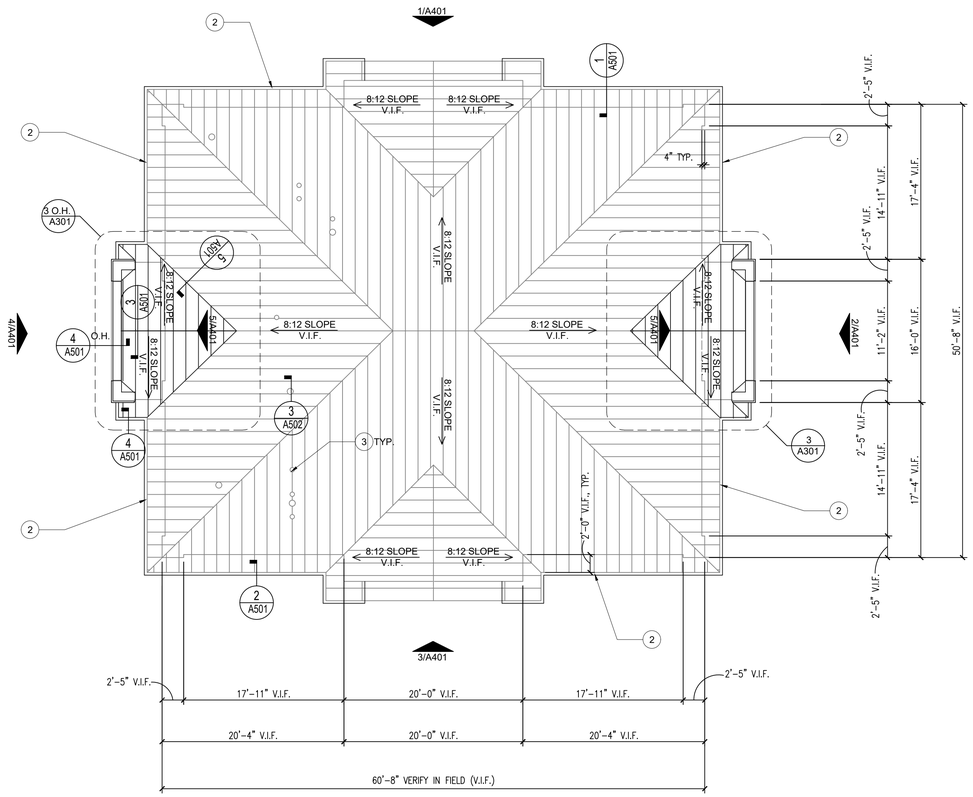
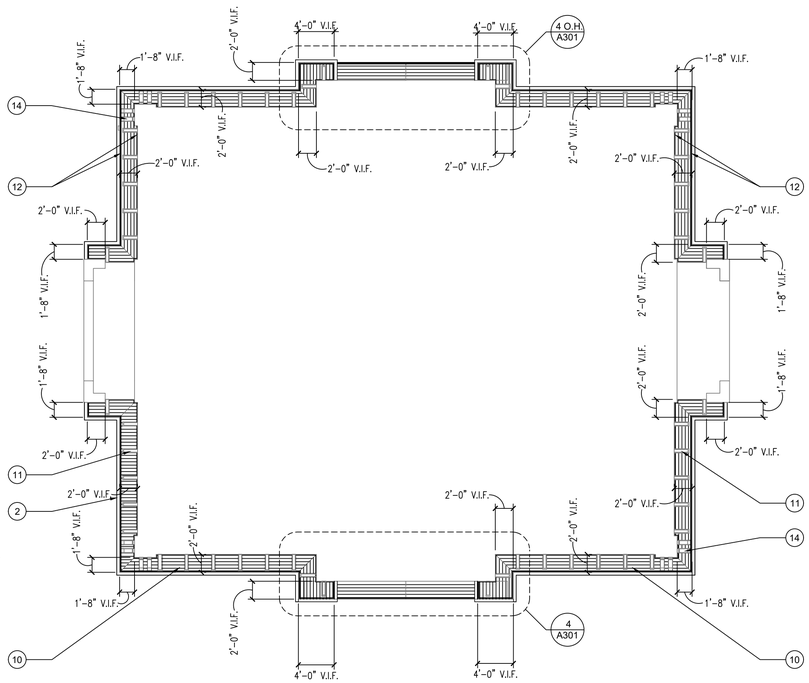
SCALE:	

SHEET TITLE:
DEMOLITION ROOF ELEVATIONS

SHEET NO.:
A202



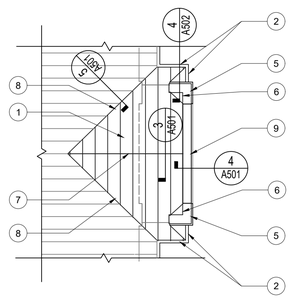


1 ROOF PLAN NEW CONSTRUCTION

Scale: 1/8" = 1' - 0"

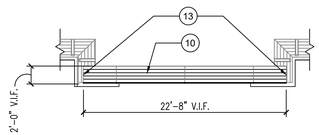
2 SOFFIT PLAN NEW CONSTRUCTION

Scale: 1/8" = 1' - 0"



3 PARTIAL ROOF PLAN NEW CONSTRUCTION

Scale: 1/8" = 1' - 0"



4 PARTIAL SOFFIT PLAN NEW CONSTRUCTION

Scale: 1/8" = 1' - 0"

GENERAL NOTES

A. REFER TO GENERAL NOTES ON PAGE A101 - GENERAL NOTES.

PLAN LEGEND

- EXISTING ROOF TO REMAIN
- SOFFIT
- NEW STANDING SEAM METAL ROOFING
- EXISTING CONDITIONS LINE TYPE
- EXISTING CONDITIONS BELOW
- NEW CONSTRUCTION

KEYNOTES

1. NEW STANDING SEAM METAL ROOF AND ASSOCIATED FLASHING.
2. NEW PREFINISHED METAL GUTTERS WITH LEAF GUARDS AND ASSOCIATED DOWNSPOUTS. TYPICAL.
3. PROVIDE NEW DEKTITE PENETRATION FLASHING. REFER TO DETAIL 4/A501.
4. NOT USED.
5. REINSTALL BRICK AT PILASTER TO MATCH ORIGINAL CONDITION. IF EXISTING BRICK IS TOO DAMAGED TO BE REINSTALLED COORDINATE INSTALLATION OF NEW BRICK WITH ARCHITECT AND PRESERVATION SPECIALIST. NEW BRICK SHALL MATCH THE HISTORIC BRICK MASONRY IN SIZE, MATERIAL COMPOSITION, DESIGN, SCALE, FINISH AND COLOR AND SHOULD BE INSTALLED FACING THE ROOF WHERE IT IS LESS VISIBLE FROM THE GROUND. BRICK SHOULD BE INSTALLED TO MATCH THE ORIGINAL BONDING AND COURSING PATTERN. PROVIDE NEW MORTAR THAT MATCHES THE EXISTING HISTORIC MORTAR COMPOSITION AND COLOR. MOCK-UP OF NEW BRICK INSTALLATION IS REQUIRED AND SHALL BE APPROVED BY ARCHITECT AND PRESERVATION SPECIALIST.
6. NEW METAL CRICKET AND COUNTERFLASHING.
7. NEW RIDGE FLASHING.
8. NEW VALLEY FLASHING.
9. PROVIDE CONTINUOUS METAL COPING OVER THE REINSTALLED BRICK PILASTER AND THE EXISTING CURVED STUCCO BRICK CAP TO REMAIN A TO FLASH OVER THE ROOF. REFER TO DETAIL 3/A501.
10. REPAIRS FOR ALL TESTED WOOD SOFFITS SHOULD BE COORDINATED WITH THE ARCHITECT AND PRESERVATION SPECIALIST. PROVIDE DOCUMENTATION OF AREAS OF OF DEGRADED WOOD SOFFIT WITH REPAIR METHOD TO BE USED TO ARCHITECT AND PRESERVATION SPECIALIST FOR THEIR REVIEW AND APPROVAL. REFER TO SHEET A101 GENERAL NOTES AND SPECIFICATIONS FOR HISTORIC WOOD REPAIR INSTRUCTIONS. PAINT ALL SOFFITS. PAINT TO MATCH EXISTING. TYPICAL
11. REPAIRS FOR ALL TESTED WOOD 1'-8" x 5 ½" WOOD OUTRIGGERS SHOULD BE COORDINATED WITH THE ARCHITECT AND PRESERVATION SPECIALIST. PROVIDE DOCUMENTATION OF AREAS OF OF DEGRADED WOOD OUTRIGGERS WITH REPAIR METHOD TO BE USED TO ARCHITECT AND PRESERVATION SPECIALIST FOR THEIR REVIEW AND APPROVAL. REFER TO SHEET A101 GENERAL NOTES AND SPECIFICATIONS FOR HISTORIC WOOD REPAIR INSTRUCTIONS.PAINT WOOD OUTRIGGERS. PAINT TO MATCH EXISTING. TYPICAL
12. REPAIRS FOR ALL TESTED WOOD TRIM SHOULD BE COORDINATED WITH THE ARCHITECT AND PRESERVATION SPECIALIST. PROVIDE DOCUMENTATION OF AREAS OF OF DEGRADED WOOD TRIM WITH REPAIR METHOD TO BE USED TO ARCHITECT AND PRESERVATION SPECIALIST FOR THEIR REVIEW AND APPROVAL. REFER TO SHEET A101 GENERAL NOTES AND SPECIFICATIONS FOR HISTORIC WOOD REPAIR INSTRUCTIONS. PAINT ALL WOOD TRIM. PAINT TO MATCH EXISTING.TYPICAL
13. PROVIDE METAL FLASHING TO STANDING SEAM METAL ROOF
14. REPAIRS FOR ALL TESTED 1'-4" x 5 ½" ORNAMENTAL WOOD OUTRIGGER SHOULD BE COORDINATED WITH THE ARCHITECT AND PRESERVATION SPECIALIST. PROVIDE DOCUMENTATION OF AREAS OF OF DEGRADED WOOD OUTRIGGERS WITH REPAIR METHOD TO BE USED TO ARCHITECT AND PRESERVATION SPECIALIST FOR THEIR REVIEW AND APPROVAL. REFER TO SHEET A101 GENERAL NOTES AND SPECIFICATIONS FOR HISTORIC WOOD REPAIR INSTRUCTIONS. PAINT 1'-4" x 5 ½" ORNAMENTAL WOOD OUTRIGGER. PAINT TO MATCH EXISTING. TYPICAL

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BES SEALS:

REGISTERED ARCHITECT KEITH A. SIMON 22107 STATE OF TEXAS
1/9/19

CLIENT: -

OWNER:
City of Kyle
100 W. Center St.
Kyle, TX 78640

REV	DATE	DESCRIPTION	BY

PROJECT:
CONTRACT DOCUMENTS
KRUG ACTIVITY CENTER
100 S BURLESON STREET
KYLE, TX 78640

PROJECT NO:	FW186070
DATE:	01/09/19
DRAWN BY:	KM
CHECKED BY:	KS
SCALE:	

SHEET TITLE:
NEW CONSTRUCTION ROOF PLAN AND ELEVATIONS

SHEET NO.:
A301

1 NORTH ELEVATION

Scale: 1/8" = 1' - 0"

2 EAST ELEVATION

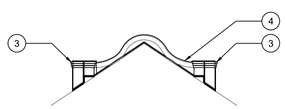
Scale: 1/8" = 1' - 0"

3 SOUTH ELEVATION

Scale: 1/8" = 1' - 0"

4 WEST ELEVATION

Scale: 1/8" = 1' - 0"



5 PARTIAL ELEVATION

Scale: 1/8" = 1' - 0"

GENERAL NOTES

A. REFER TO GENERAL NOTES ON PAGE A101 - GENERAL NOTES.

PLAN LEGEND

- EXISTING ROOF TO REMAIN
- SOFFIT
- NEW STANDING SEAM METAL ROOFING
- NEW STUCCO TO MATCH EXISTING
- EXISTING CONDITIONS LINE TYPE
- EXISTING CONDITIONS BELOW
- NEW CONSTRUCTION

KEYNOTES

1. NEW STANDING SEAM METAL ROOF AND ASSOCIATED FLASHING.
2. NEW PREFINISHED METAL GUTTERS WITH LEAF GUARDS AND ASSOCIATED DOWNSPOUTS. TYPICAL.
3. REINSTALL BRICK AT PILASTER TO MATCH ORIGINAL CONDITION. IF EXISTING BRICK IS TOO DAMAGED TO BE REINSTALLED PROVIDE NEW BRICK THAT MATCHES THE HISTORIC BRICK MASONRY IN SIZE, MATERIAL COMPOSITION, DESIGN, SCALE, FINISH AND COLOR. BRICK SHOULD BE INSTALLED TO MATCH THE ORIGINAL BONDING AND COURSING PATTERN. PROVIDE NEW MORTAR THAT MATCHES THE EXISTING HISTORIC MORTAR COMPOSITION AND COLOR. MOCK-UP OF NEW BRICK INSTALLATION IS REQUIRED AND SHALL BE APPROVED BY ARCHITECT AND PRESERVATION SPECIALIST.
4. METAL COPING OVER EXISTING CEMENTITIOUS AND REINSTALLED BRICK OF THE PILASTERS TO FLASH OVER THE ROOF. REFER TO DETAIL 3/A501.
5. PROVIDE NEW STUCCO ACCENTS. STUCCO TO MATCH EXISTING TYPE, TEXTURE, MATERIAL COMPOSITION AND COLOR. ARCHITECT AND PRESERVATION SPECIALIST TO APPROVE MOCKUP OF THE STUCCO BEFORE INSTALLATION. REFER TO SPECIFICATIONS AND GENERAL NOTES ON SHEET A101.
6. PAINT 1'-8" x 5 $\frac{1}{2}$" WOOD OUTRIGGERS. PAINT TO MATCH EXISTING. TYPICAL
7. PAINT ALL WOOD TRIM. PAINT TO MATCH EXISTING.TYPICAL
8. PAINT 1'-4" x 5 $\frac{1}{2}$" ORNAMENTAL WOOD OUTRIGGER. PAINT TO MATCH EXISTING. TYPICAL

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PROJECT NO:	FW186070
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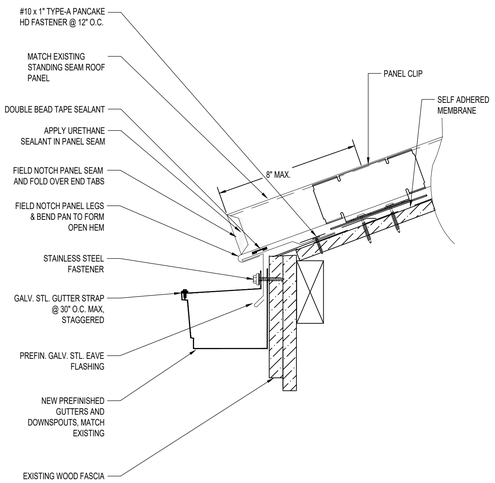
DRAWN BY:	KM
CHECKED BY:	KS
SCALE:	

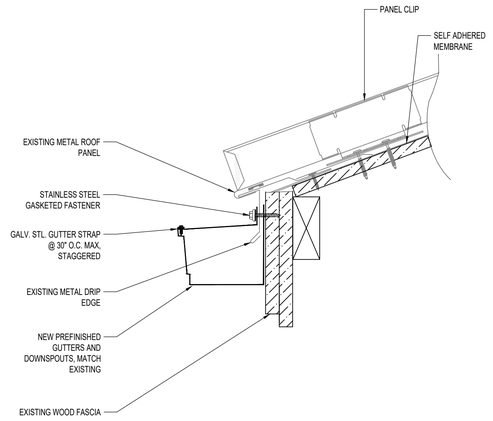
SHEET TITLE:
NEW CONSTRUCTION ELEVATIONS

SHEET NO.:
A401



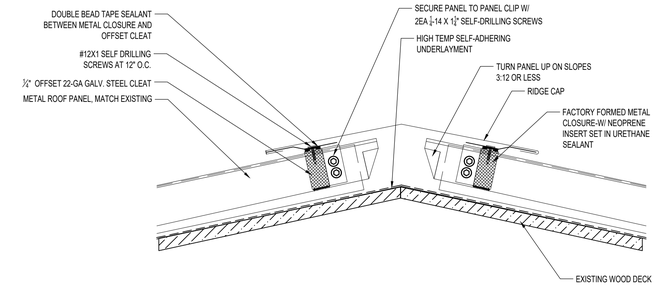
1 EAVE - NEW METAL PANELS

Scale: 3" = 1' - 0"



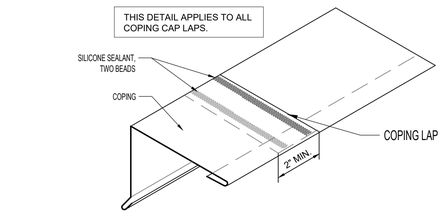
2 NEW GUTTER

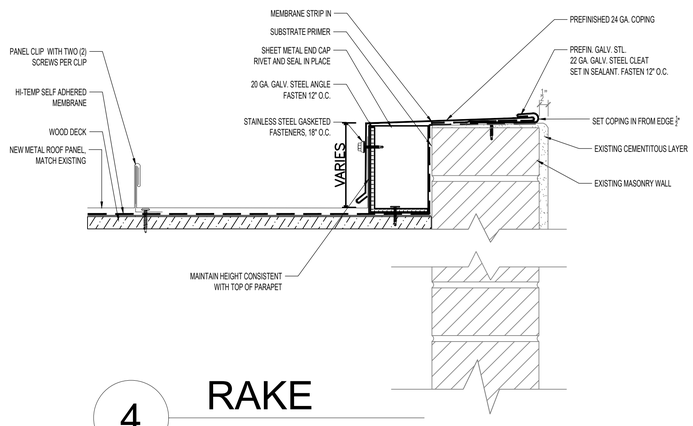
Scale: 3" = 1' - 0"



3 RIDGE

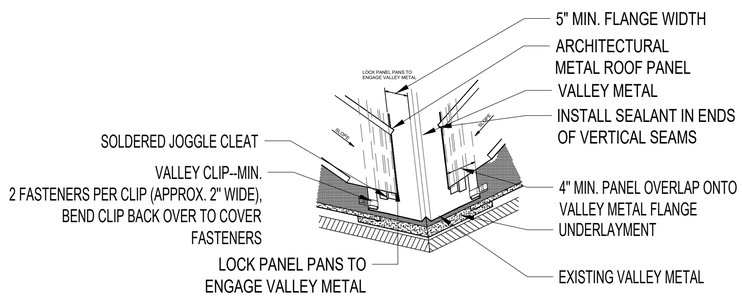
Scale: 3" = 1' - 0"





4 RAKE

Scale: 3" = 1' - 0"

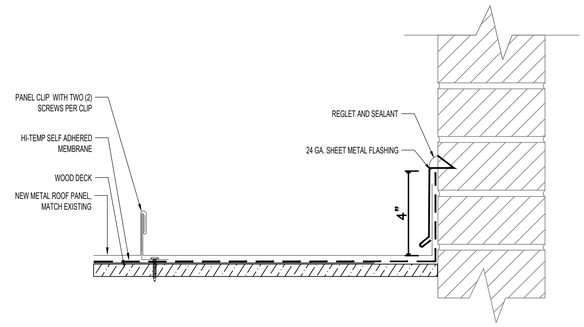


NOTES:

1. SPECIFIC FASTENING REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE AND BUILDING CODE.
2. DIMENSIONS FOR VALLEY METAL WIDTH MAY VARY ACCORDING TO PANEL LENGTHS AND GEOGRAPHIC CONSIDERATIONS.
3. SEAM AND PANEL PROFILE MAY VARY

5 VALLEY

Scale: N.T.S.



6 FLASHING DETAIL

Scale: 3"= 1'-0"

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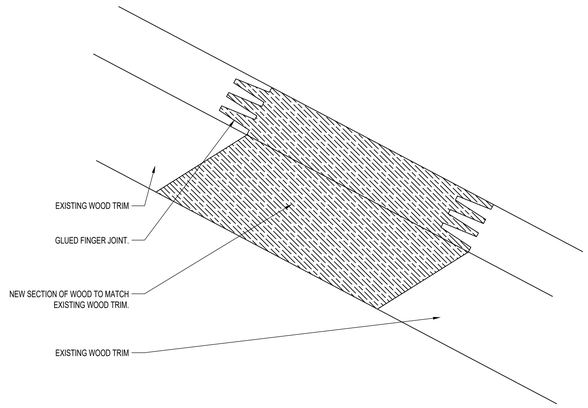
KYLE, TX 78640

PROJECT NO:	FW186070
DATE:	01/09/19
DRAWN BY:	JH
CHECKED BY:	KS
SCALE:	AS NOTED

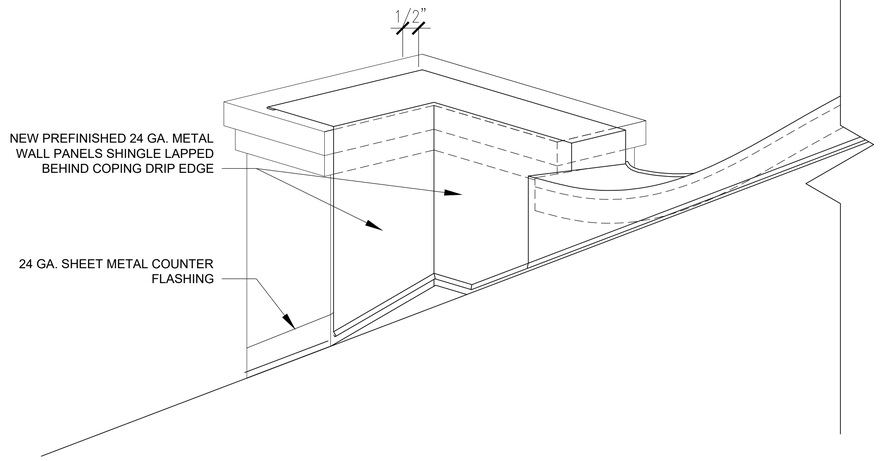
SHEET TITLE:
ROOF DETAILS

SHEET NO.:
A501



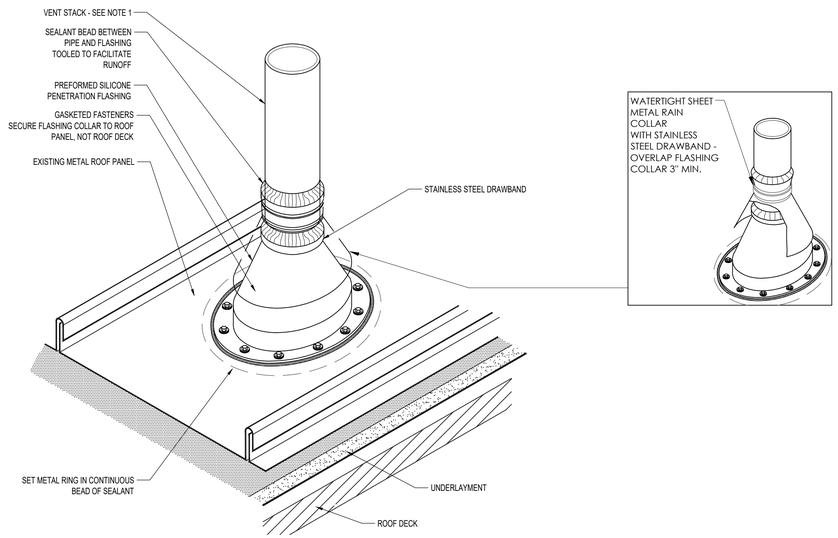
1 WOOD DUTCHMAN DETAIL

Scale: NTS



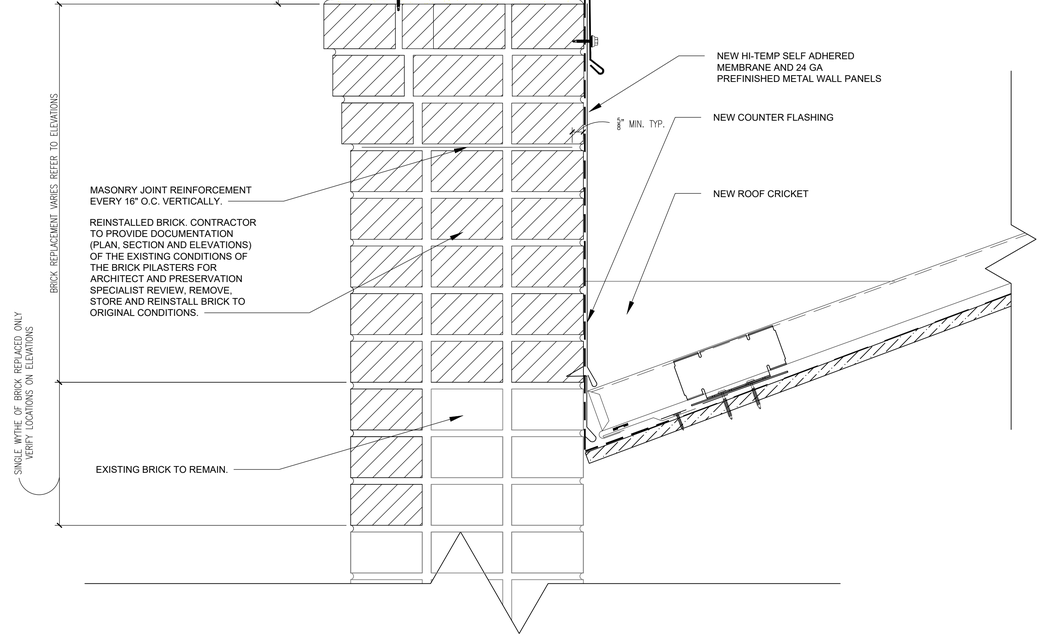
2 PILASTER DETAIL

Scale: NTS



3 PIPE PENETRATION

Scale: 3" = 1' - 0"



4 PILASTER DETAIL

Scale: 3" = 1'-0"

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SHEET TITLE:
DETAILS

SHEET NO.:
A502