

Employment Center District or Business Park District

Sec. 11.02.189 Purpose

The Employment Center District, EC, is established to promote the development of major businesses, strengthen the economic development corridors within the city, and attract firms to expand their operations by establishing locations for business park complexes and campuses, with appropriate transition zoning from existing and/or proposed residential areas.

The Business Park District (BP) is intended to provide a location for office, research, and light industrial uses typically located as part of a large development. The BP District may be appropriate adjacent to residential areas, provided that there is adequate buffering and pedestrian and vehicular access to the residential area for workers in the business park. The BP District typically has more traffic than in an office area, but fewer heavy vehicles than in an industrial area. The Business Park District is a special-purpose district because it has a minimum size acreage for limited complementary uses that may expand with the size of the park. Larger parks often include commercial activities such as restaurants, banks, day care and similar uses that are intended to serve the on-site community and may include some limited high-density residential.

Sec. 11.02.190 Permitted uses

1. Manufacturing, processing, and assembly facilities, light

(DEFINITION: The use of a site for manufacture, predominantly from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, treatment, and packaging of the products, and incidental storage, sales, and distribution of the products. Including software, electronics, communication, precision scientific and technical equipment, pharmaceuticals, medical and biologic devices. Products may be designed, fabricated, created, assembled and packaged)

2. Office, professional, medical, or administrative Sec. [11.02.196B](#)
3. Off-site accessory parking
4. Public buildings, uses
5. Research and development facilities
6. Software development
7. Utility services, general
8. Secondary uses specific to this district, see Sec. [11.02.196C](#)
9. Wireless telecommunications facilities

Sec. 11.02.191 Height regulations

75 feet is the maximum height for all buildings.

No portion of a building within 100 feet of the property line of a single-family residential use district shall exceed thirty-five (35) feet in height.

Permitted heights can exceed the maximum feet shown when and only when structured parking is included in the construction design of the building and occurs in the same phase of construction as the building and providing for a minimum of one-third (1/3) the number of the required parking spaces that are required by ordinance to separately serve the uses within the building. The maximum height of any building may not exceed thirty five (35%) percent of the maximum permitted height.

Sec. 11.02.192 Setback regulations

Front setback. 50 feet

Parking is not allowed in the fifty (50) foot setback.

Side setback street. 50 feet

Parking is not allowed in the fifty (50) foot setback.

Side setback. 50 feet

A fifty (50) foot side yard setback shall be required when adjacent to collector or local street, park, greenbelt, multifamily zoning district, retail services district or equivalent use. If adjacent to equivalent use or less restrictive use, the side yard shall be a minimum of twenty five (25) feet, with the exception of an adjoining development that shares a common wall that is built concurrently in which case no setback is required.

Side Setback-adjacent to single-family. 50 feet

Rear Setback. 100 feet

A fifty (50) feet [foot] rear yard setback shall be required when adjacent to a collector or local street, park, greenbelt, multifamily zoning district, retail services district, or equivalent use. Twenty-five (25) feet when adjacent to any other zoning district (excluding single-family) or equivalent use.

Rear Setback at street. 100 feet

A fifty (50) feet [foot] rear yard setback shall be required when adjacent to a collector or local street, park, greenbelt, multifamily zoning district, retail services district, or equivalent use. Twenty-five (25) feet when adjacent to any other zoning district (excluding single-family) or equivalent use.

Rear Setback adjacent to single family. 100 feet

Sec. 11.02.193 Lot regulations

Minimum Site Area. 10 acres

Minimum Lot Width. 200 feet

Minimum Lot Depth. 300 feet

Minimum Lot Size. 60,000 sf

Sec. 11.02.194 Off-street parking regulations

Sec. 11.02.195 Building regulations

A. Each exterior wall area of a site built in this district shall have a minimum of seventy five (75) percent masonry construction exclusive of doors and windows. Standard exterior insulation and finish systems (EIFS) for exterior finish above eight feet, and abuse resistant EIFS for exterior finish below eight feet.

The percentage masonry requirement may be reduced on individual walls if the following criteria are met:

1. The wall face(s) where the reduction is being applied is not visible from any adjacent public ways,
2. The overall building meets the percentage masonry required by the district plus ten (10) percent, and
3. The wall(s) with the reduced masonry provide one or a combination of architectural elements listed below:
 - a. At least 50 percent of the length of the exterior wall(s) shall be covered by awnings that have a minimum depth of ten (10) feet, or
 - b. At least 50 percent of the length of the exterior wall(s) shall be covered by windows, columns, trellises or arbors that are mounted to the exterior wall of the building a minimum of twelve (12) feet and not to exceed twenty (20) feet in height.
4. Example: (Wall 1 = 90%; Wall 2 = 90%; Wall 3 = 90%; Wall 4 = 70%)/4 = Total wall area of 85%.

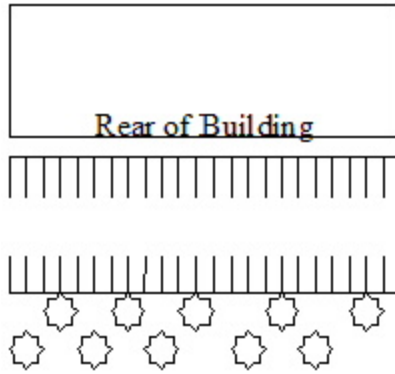
B. No building shall contain an exterior wall that exceeds one hundred (100) feet in length, unless one or a combination of architectural elements listed below is used to bring the building to a pedestrian scale. These standards shall be applied separately for each building face of each floor or building level. At least seventy-five (75) percent of the length of the exterior wall shall be covered by one or a combination of the following elements:

1. Awnings
2. Windows
3. Columns
4. Trellises
5. Arbors, mounted to the exterior wall of the building with a minimum height of 12 feet and a maximum height of 20 feet
6. Canopies
7. Integrated planters or wing walls that incorporate a sitting area

All nonresidential buildings must be architecturally finished on all four sides except the rear if:

1. The rear does not face a public right-of-way; and
2. Landscaping buffer yard, a minimum width of 20', is provided and landscaped as described in Section [14.07.006\(a\[b\]\)\(9\)\(A\)\(i\)](#) and (iii) on the perimeter behind the building. Parking may be provided between the building and the buffer yard but may not exceed one aisle.

Example:



- C. All operations and storage shall be located within a fully enclosed building(s).
- D. Mirrored glass is not permitted.
- E. The minimum footprint of any principal building shall be a minimum of fifteen thousand (15,000) square feet.

Sec. 11.02.196 Regulations specific to this district

- A. Development in this district is intended to be designed as a campus, and shall include connecting walkways, common plazas, with open or green space areas equal to or greater to the square footage of total building footprint.
- B. Office building space shall have a collective [sic] a minimum gross floor area of at least fifty thousand (50,000) square feet.
- C. Secondary uses shall be limited to the following:
 - 1. Office, administrative offices, sales facilities that are incidental to principal permitted uses.
 - 2. Facilities provided for the benefit of employees, including cafeteria, daycare facilities, employee training and meeting areas, and recreation facilities.
 - 3. Facilities provided for the safety, security and operation of the principal permitted use, including site security offices, firefighting facilities, first aid stations, and caretaker facilities.
 - 4. Employee health clubs, gym.
 - 5. Walk-up or drive-through bank teller facilities.
 - 6. Instant print copy duplication services.
 - 7. Incidental retail, limited-restaurants, and/or personal services in an office or industrial building in excess of thirty thousand (30,000) square feet where the total square footage of these activities comprises no more than ten percent (10) percent of the gross floor area of the buildings.
 - 8. These regulations are provided to prevent any use or operation, including those permitted by right, from creating a dangerous, injurious, noxious or unreasonably objectionable condition so as to adversely affect areas outside of the district.

D. Development in this district shall be designed with a master traffic circulation plan that has direct access to one or more major arterials.

EXAMPLE ONLY/DRAFT