

## **GENERAL COMMERCIAL DISTRICT, GC**

### **Sec. 11.02.155 Purpose**

The General Commercial District, GC, is established to provide for business activities that are typically large in scale and are designed to serve the community and the region without negatively impacting the residents of the single-family neighborhoods. This is accomplished by locating these uses at pulse points or activity nodes located at the intersection of arterial roadways, or at pulse points with direct access to major arterial roadways. The GC District allows for more intensive retail, office, and limited commercial land uses under architectural standards that result in consumer-oriented, quality development that promotes economic development and regional enterprise in a positive and sustainable manner for the City.

### **Sec. 11.02.156 Permitted uses**

Any use permitted in the Local Commercial District, LC

1. Automobile sales, new
2. Automotive sales, used,
3. Automobile repair shop
4. Automotive tire stores
5. Bar, Cocktail Lounge
6. Car washes; all types
7. Civic clubs and fraternal organizations
8. Commercial parking lots
9. Equipment rental, sales, service and/or repair
10. Funeral home
11. Furniture store
12. Gasoline service stations, general

*Gasoline service station, general: A retail gasoline service station selling gas and/or diesel fuels primarily to passenger vehicles, with or without automobile repair on site, and with or without an automatic car wash.*

13. Home improvement center (with portable building sales as an accessory use only)
14. Hotel

*Hotel: A facility offering transient lodging accommodations to the general public and which may include additional facilities and services, such as restaurants, meeting rooms, entertainment, personal services, and recreational facilities. All rooms are accessible from an inside lobby, with twenty-four (24) hour employee on site, and daily rates. Can include suite hotels.*

15. Hotel, extended stay

*Hotel, extended stay: A hotel that provides for daily and/or weekly rates for guest lodging in excess of five (5) days, with an average stay of seven-to-ten (7-10) days. Rooms are generally larger and include stove tops, with washers and dryers on premises. Extended stay hotels are not apartment housing. Any occupancy within the establishment exceeding thirty (30) days or more qualifies as apartment housing and requires different zoning building code compliance.*

16. Indoor sports and recreation

17. Motel

*Motel: A facility offering transient lodging accommodations to the general public and which may include additional facilities and services, such as restaurants, meeting rooms, and recreational facilities. All rooms have individual entrances from outside the building to serve each room. The office has a twenty-four (24) hour employee on site and daily rates. See also RV park with motel.*

18. Motel, extended stay

*Motel, extended stay: A motel that provides for daily and/or weekly rates or guest lodging in excess of five (5) days, with an average stay of 7-10 days. Rooms are generally larger and include cooktops, with washers and dryers on premises. Extended stay motels are not apartment housing. Any occupancy within the establishment exceeding thirty (30) days or more qualifies as apartment housing and requires different zoning and building code compliance.*

19. Office/showrooms

20. Office/warehouse

21. Personal improvement services, general

*Personal services, general: The use of a site for the provision of periodically needed services of a personal nature. This use includes beauty and/or barber shops, hairdressers, manicurists, seamstress or tailor services, shoe repair shops, and dry cleaning and/or laundering drop-off/pick-up station services.*

22. Reception hall

23. Theatres, indoor

*Theater, indoor: An indoor building or part of a building devoted to the showing of motion pictures, or for dramatic, musical, or live performances.*

24. Theatres, outdoor

*Theater, outdoor (amphitheater): An outdoor area and associated structures devoted to the showing of motion pictures, or for dramatic, musical, or live performances.*

25. Transit station

*Transit station: The use of a site for the provision of a facility for the loading, unloading, or interchange of passengers, baggage, or incidental freight or package express between modes of transportation. A transit station does not include the offices, dispatching facilities, garage, maintenance and services facilities that are directly*

*associated with public transit facilities, shipping and freight services, and private or public taxicab or shuttle services and facilities, which are located within transportation terminal facilities.*

## 26. Non-Emergency Medical Transport Service

*Non-Emergency Medical Transport Service: A medical transfer service for the transportation of individuals to or from a medical facility, nursing home, or residence under circumstances which do not constitute an emergency, in which the use of lights and sirens is prohibited, except when in the course of transport, said transport becomes an emergency, per Chapter 546 of the Texas Transportation Code.*

### **Sec. 11.02.157 Height regulations**

One hundred (100) feet is the maximum height for all buildings.

No portion of a building within 100 feet of the property line of a single-family residential use district shall exceed thirty-five (35) feet in height.

Permitted heights can exceed the maximum feet shown when and only when structured parking is included in the construction design of the building and occurs in the same phase of construction as the building and providing for a minimum of one-third (1/3) the number of the required parking spaces that are required by ordinance to separately serve the uses within the building.

### **Sec. 11.02.158 Setback regulations**

Front Setback. 25 feet

Side Setback at street. 25 feet

Side Setback. 12 feet

Side Setback—adjacent to single-family. 20 feet

Rear Setback at street. 25 feet

Rear Setback. 5 feet

Rear Setback —adjacent to single-family. 20 feet

### **Sec. 11.02.159 Lot regulations**

Minimum Lot size. 20,000 square feet

Minimum Lot Width. 100 feet

Minimum Lot Depth. 200 feet

### **Sec. 11.02.160 Off-street parking regulations**

**Sec. 11.02.161 Building regulations**

A. Each exterior wall area of a site built in this district shall have a minimum of fifty (50) percent masonry construction exclusive of doors and windows. No metal panels with factory applied coatings shall be used for exterior walls.

The percentage masonry requirement may be reduced on individual walls if the following criteria are met:

1. The wall face(s) where the reduction is being applied is not visible from any adjacent public ways,
2. The overall building meets the percentage masonry required by the district plus ten (10) percent, and
3. The wall(s) with the reduced masonry provide one or a combination of architectural elements listed below:
  - a. At least 50 percent of the length of the exterior wall(s) shall be covered by awnings that have a minimum depth of ten (10) feet, or
  - b. At least 50 percent of the length of the exterior wall(s) shall be covered by windows, columns, trellises or arbors that are mounted to the exterior wall of the building a minimum of twelve (12) feet and not to exceed twenty (20) feet in height.
4. Example: (Wall 1 = 40%; Wall 2 = 50%; Wall 3 = 50%; Wall 4 = 70%)/4 = Total wall area of 60%.

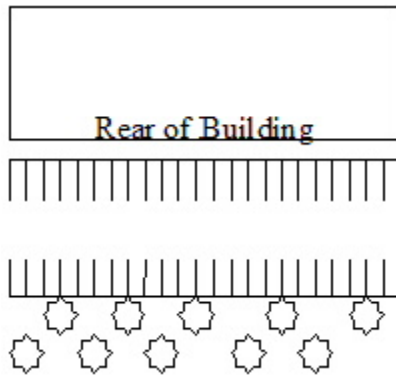
B. No building shall contain an exterior wall that exceeds one hundred (100) feet in length, unless one or a combination of architectural elements listed below is used to bring the building to a pedestrian scale. These standards shall be applied separately for each building face of each floor or building level. At least seventy-five (75) percent of the length of the exterior wall shall be covered by one or a combination of the following elements:

1. Awnings
2. Windows
3. Columns
4. Trellises
5. Arbors, mounted to the exterior wall of the building with a minimum height of 12 feet and a maximum height of 20 feet
6. Canopies
7. Integrated planters or wing walls that incorporate a sitting area

All nonresidential buildings must be architecturally finished on all four sides except the rear if:

1. The rear does not face a public right-of-way; and
2. Landscaping buffer yard, a minimum width of 20', is provided and landscaped as described in Section [14.07.006\(a\)\[b\]\(9\)\(A\)\(i\) and \(iii\)](#) on the perimeter behind the building. Parking may be provided between the building and the buffer yard but may not exceed one aisle.

Example:



- C. Awnings and canopies may be made of sheet metal, or canvas membrane. Plastic or vinyl is not permitted.
- D. Mirrored glass is not permitted.

**Sec. 11.02.162 Regulations specific to this district**

- A. A permanent structure with indoor facilities that include offices, restroom facilities, etc. to comply with all building code regulations is required.
- B. Permitted uses shall be located at the intersection of two major arterial streets or with direct access to a state designated roadway, as they are defined in the Transportation Master Plan and Comprehensive Plan.
- C. Displays and merchandise shall be principally contained and displayed within the building except for the following:
  - 1. Outdoor display limited to no more than ten (10) percent of the area of the ground floor of the building; except for a florist, garden shop, or landscape nursery where live vegetation and landscape materials may be kept outdoors.
  - 2. Outdoor storage is permitted, however is limited to ten (10) percent of the total area of the site. Outdoor storage is not allowed in areas not permitted for such purpose, and shall not be allowed in required parking spaces or in landscaped areas.
  - 3. Automotive sales, new or used, which are excluded from this requirement.
- D. Used automotive sales shall be a permitted use only in conjunction with and secondary to a new vehicle dealership, or on a minimum one (1) acre lot with a building office/sales area having no less than four thousand (4,000) sq. ft. that is devoted specifically to such use.
- E. Any RV park facilities incidental to a motel shall meet the following development standards:
  - 1. All rental sites shall have hook-ups for water, sewer, and electricity. Cable, telephone, internet connections are optional. All sites shall be accessed by a paved driveway aisle.
  - 2. Rental slips shall be spaced at least fifteen (15) feet apart to provide for steps, awnings, pop-outs and pedestrian circulation.
  - 3. Trash collection and disposal service shall be provided collectively by the owner/developer of the park.