

## **GENERAL OFFICE DISTRICT, GO**

### **Sec. 11.02.137 Purpose**

The General Office District, GO, is established to provide for office buildings and businesses that support large office complexes. This district permits uses that serve the community as a whole and provides regional employment opportunities. This district should be located between activity nodes along arterial roadways; it can also provide for transitional land uses between neighborhoods and more intensive commercial and regional activities.

### **Sec. 11.02.138 Permitted uses**

Any use permitted in the Neighborhood Office District

1. Ambulatory Surgery Center
2. Automated teller machines
3. Banks (with drive-through facilities as a secondary use only)
4. Communication services
5. Convalescent Nursing Home
6. Day Care Center, Adult
7. Day Care Center, Child
8. Day nurseries, day care facilities
9. Drug Store
10. Dry cleaning and/or laundry, on-site plant
11. Extended care facilities, nursing home
12. Medical or dental clinics
13. Medical, surgical, and dental supply houses
14. Parking lots, driveways, on-site or off-site
15. Personal services, general

*Personal services, general: The use of a site for the provision of periodically needed services of a personal nature. This use includes beauty and/or barber shops, hairdressers, manicurists, seamstress or tailor services, shoe repair shops, and dry cleaning and/or laundering drop-off/pick-up station services.*

16. Personal improvement services

*Personal improvement services: The use of a site for the provision of informational, instructional, personal improvement, and similar services of a nonprofessional nature. This use includes handicraft or hobby instruction,*

*health or physical fitness clubs, gyms, weight loss centers, photography studios, driving schools, spas, full service beauty salons with permanent makeup and/or massage therapy, massage therapy and ear piercing.*

17. Retail gift store

18. Restaurant, limited

*Restaurant, limited: The use of a site for the preparation and retail sale of food and beverages. This use includes soda fountains and ice cream parlors, includes fast food, but excludes drive-through restaurants, and excludes the sale of alcoholic beverages for on-premise[s] consumption, with the exception of the sale of beer and/or wine as an accessory use (must be less than fifty (50) percent of gross sales).*

19. Vocational or trade school

20. College and University

21. Secondary uses permitted with convalescent nursing homes or extended care facilities. See [Section 11.02.144\(C\)](#).

#### **Sec. 11.02.139 Height regulations**

Seventy five (75) feet is the maximum height for all buildings.

No portion of a building within 100 feet of the property line of a single-family residential use district shall exceed thirty-five (35) feet in height.

Permitted heights can exceed the maximum feet shown when and only when structured parking is included in the construction design of the building and occurs in the same phase of construction as the building and providing for a minimum of one-third (1/3) the number of the required parking spaces that are required by ordinance to separately serve the uses within the building.

#### **Sec. 11.02.140 Setback regulations**

Front Setback. 25 feet

Side Setback at street. 25 feet

Side Setback. 12 feet

Side Setback—adjacent to single-family. 20 feet

Rear Setback at street. 25 feet

Rear Setback. 5 feet

Rear Setback –adjacent to single-family. 20 feet

#### **Sec. 11.02.141 Lot area regulations**

Minimum Lot size. 15,000 square feet

Minimum Lot Width. 100 feet

Minimum Lot Depth. 150 feet

**Sec. 11.02.142 Off-street parking regulations**

**Sec. 11.02.143 Building regulations**

A. Each exterior wall area of a site built in this district shall have a minimum of seventy-five (75) percent masonry construction exclusive of doors and windows. No metal panels with factory applied coatings shall be used for exterior walls.

The percentage masonry requirement may be reduced on individual walls if the following criteria are met:

1. The wall face(s) where the reduction is being applied is not visible from any adjacent public ways,
2. The overall building meets the percentage masonry required by the district plus ten (10) percent, and
3. The wall(s) with the reduced masonry provide one or a combination of architectural elements listed below:
  - a. At least 50 percent of the length of the exterior wall(s) shall be covered by awnings that have a minimum depth of ten (10) feet, or
  - b. At least 50 percent of the length of the exterior wall(s) shall be covered by windows, columns, trellises or arbors that are mounted to the exterior wall of the building a minimum of twelve (12) feet and not to exceed twenty (20) feet in height.
4. Example: (Wall 1 = 55%; Wall 2 = 95%; Wall 3 = 85%; Wall 4 = 85%)/4 = Total exterior wall area of 85%.

B. A permanent structure with indoor facilities that include offices, restroom facilities, etc. [that] will comply with all building code regulations is required.

C. Awnings and canopies may be made of sheet metal or canvas membrane. Vinyl or plastic awnings are not permitted.

D. All ground floor building faces shall utilize the same or similar building architectural treatments on all sides.

E. Mirrored glass is not permitted.

F. Any displays or merchandise shall be fully contained and displayed within the building.

G. No building shall contain an exterior wall that exceeds one hundred (100) feet in length, unless one or more of the architectural elements listed below is used to bring the building to a pedestrian scale. These standards shall be applied separately for each building face of each floor or building level. At least seventy-five (75) percent of the length of the exterior wall shall be covered by one or a combination of the following elements:

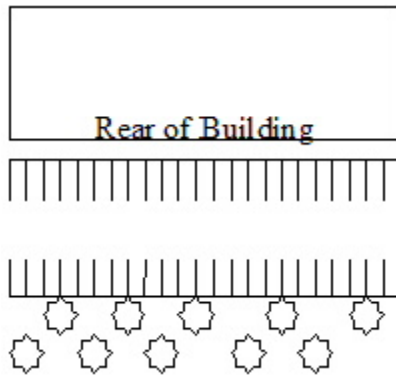
1. Awnings
2. Windows

3. Columns
4. Trellises
5. Arbors, mounted to the exterior wall of the building with a minimum height of 12 feet and a maximum height of 20 feet
6. Canopies
7. Integrated planters or wing walls that incorporate a sitting area

All nonresidential buildings must be architecturally finished on all four sides except the rear if:

1. The rear does not face a public right-of-way; and
2. Landscaping buffer yard, a minimum width of 20', is provided and landscaped as described in Section [14.07.006\(a\)\(b\)\(9\)\(A\)\(i\)](#) and (iii) on the perimeter behind the building. Parking may be provided between the building and the buffer yard but may not exceed one aisle.

Example:



(Ordinance CO29-10-05-13-C2 adopted 5/13/10)

**Sec. 11.02.144 Regulations specific to this district**

- A. Permitted uses shall be located and take primary access on a collector or arterial street as defined in the Transportation Master Plan and the Comprehensive Plan.
- B. Assisted living facilities shall be permitted as a secondary use only when they are directly associated with convalescent nursing homes or extended care facilities.