



CITY OF KYLE

PLANNING & ZONING COMMISSION REGULAR MEETING

KYLE CITY HALL
100 W. CENTER STREET

Notice is hereby given that the Planning and Zoning Commission of the City of Kyle, Texas will meet at 8:00 PM on February 14, 2017, at Kyle City Hall 100 W. Center Street for the purpose of discussing the following agenda.

NOTE: There may be a quorum of the City Council of Kyle, Texas present at the meeting who may participate in the discussion. No official action will be taken by the City Council members in attendance.

Posted this 10th day of February, 2017 prior to 6:30 P.M.

1. CALL MEETING TO ORDER

2. ROLL CALL

3. CITIZEN COMMENTS

4. CONSENT

A. Plum Creek Phase 1, Section 11F – Preliminary Plan (PP-16-005)

6.999 acres; 1 commercial lot

Located fronting Cromwell Drive approximately 500 feet west of FM 1626, south of Kohlers Crossing

Owner: PC Operating Partners, Ltd.

Agent: Nicole Findeisen, P.E., Axiom Engineers, Inc.

Staff Proposal to P&Z: Approve

B. Plum Creek Phase 1, Section 11F – Final Plat (FP-16-014)

Located fronting Cromwell Drive approximately 500 feet west of FM 1626, south of Kohlers Crossing

Owner: PC Operating Partners, Ltd.

Agent: Nicole Findeisen, P.E., Axiom Engineers, Inc.

Staff Proposal to P&Z: Approve

5. ADJOURN

*Per Texas Attorney General Opinion No. JC-0169; Open Meeting & Agenda Requirements, Dated January 24, 2000: The permissible responses to a general member communication at the meeting are limited by 551.042, as follows: "SEC.551.042. Inquiry Made at Meeting. (a) If, at a meeting of a government body, a member of the public or of the governmental body inquires about a subject for which notice has not been given as required by the subchapter, the notice provisions of this subchapter, do not apply to:(1) a statement of specific factual information given in response to the inquiry; or (2) a recitation of existing policy in response to the inquiry. (b) Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting.

Certificate

I certify that the above notice of the Planning and Zoning Commission Meeting of the City of Kyle, Texas was posted on the bulletin board of the City of Kyle City Hall, 100 W. Center St, Kyle, Texas. This notice was posted on:


Howard J. Koontz, (Date) 02/10/2017
Director of Planning and Community Development

4. CONSENT AGENDA - ITEM A

Plum Creek Phase 1, Section 11F – Preliminary Plan (PP-16-005)

PLUM CREEK PHASE I, SECTION 11F
PRELIMINARY PLAT
FOR REVIEW ONLY

STATE OF TEXAS §
 COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS, THAT WE, PC OPERATING PARTNERS, LTD., A LIMITED PARTNERSHIP ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF TEXAS, WITH ITS HOME ADDRESS AT 610 WEST 5TH STREET, SUITE 601, AUSTIN, TEXAS 78701, BEING THE OWNER OF THAT CERTAIN 6.999 ACRE TRACT OF LAND IN THE JESSE DAY SURVEY, A-159, HAYS COUNTY, TEXAS; BEING ALL OF THAT CERTAIN CALLED 6.779 ACRE TRACT OF LAND DESIGNATED AS TRACT SIX, PARCEL ONE AND DESCRIBED IN THE DEED TO PC OPERATING PARTNERS, LTD. OF RECORD IN VOLUME 5233, PAGE 170, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, AND BEING ALL OF A CERTAIN CALLED 0.2204 ACRE TRACT OF LAND DESIGNATED AS TRACT SIX, PARCEL TWO AND DESCRIBED IN THE DEED TO PC OPERATING PARTNERS, LTD. OF RECORD IN VOLUME 5233, PAGE 198, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; DO HEREBY SUBDIVIDE SAID 6.999 ACRES AS SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE **PLUM CREEK PHASE 1, SECTION 11F** SUBDIVISION TO THE CITY OF KYLE, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER PUBLIC RIGHT OF WAY AND DRAINS, EASEMENTS (EXCLUDING LANDSCAPE AREA WITHIN EASEMENTS), PARKS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

WHEREOF THE SAID PC OPERATING PARTNERS, LTD., OWNER, HAS CAUSED THESE PRESENTS TO BE EXECUTED BY ITS GENERAL PARTNER, PCOP GP, LLC, THEREUNTO DULY AUTHORIZED, GENERAL PARTNER HAS CAUSED THESE PRESENTS TO BE EXECUTED BY ITS MEMBER/MANAGER, BENCHMARK LAND & EXPLORATION, INC.

PC OPERATING PARTNERS, LTD.,
 A TEXAS LIMITED PARTNERSHIP
 BY: PCOP GP, LLC, GENERAL PARTNER
 A TEXAS LIMITED LIABILITY COMPANY
 BY: BENCHMARK LAND & EXPLORATION, INC., A MEMBER/MANAGER
 A TEXAS CORPORATION
 BY: _____
 MYRA J. GOEPP, VICE PRESIDENT

STATE OF TEXAS §
 COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, MYRA J. GOEPP, VICE PRESIDENT OF BENCHMARK LAND & EXPLORATION, INC., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.
 GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

BY: _____
 NOTARY PUBLIC

STATE OF TEXAS §
 COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS:

THAT, LIZ Q. GONZALEZ, CLERK OF HAYS COUNTY COURT DOES HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND THE CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDS IN MY OFFICE ON THE _____ DAY OF _____, 20____, A.D., IN THE PLAT RECORDS OF SAID COUNTY AND STATE IN PLAT CABINET _____, PAGE(S) _____ WITNESS MY HAND AND SEAL OF OFFICE OF COUNTY CLERK OF SAID COUNTY ON THIS THE _____ DAY OF _____, 20____, A.D.
 FILED FOR RECORD AT _____ O'CLOCK ____M. THIS THE _____ DAY OF _____, 20____, A.D.

BY: _____
 LIZ Q. GONZALEZ
 COUNTY CLERK
 HAYS COUNTY, TEXAS

I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING COMMISSION OF THE CITY OF KYLE HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY AS TO WHICH THE COMMISSION'S APPROVAL IS REQUIRED.

BY: _____
 CHAIRPERSON

THIS PLAT (PLUM CREEK PHASE 1, SECTION 11F) HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF KYLE, TEXAS AND IS HEREBY APPROVED BY THE COMMISSION.

DATED THIS _____ DAY OF _____, 20____.

BY: _____
 ATTEST:

 SECRETARY

THIS PLAT (PLUM CREEK PHASE 1, SECTION 11F) HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF THE CITY OF KYLE, TEXAS AND IS HEREBY APPROVED BY THE COUNCIL.

DATED THIS _____ DAY OF _____, 20____.

BY: _____
 ATTEST:

 SECRETARY

STATE OF TEXAS §
 COUNTY OF TRAVIS §

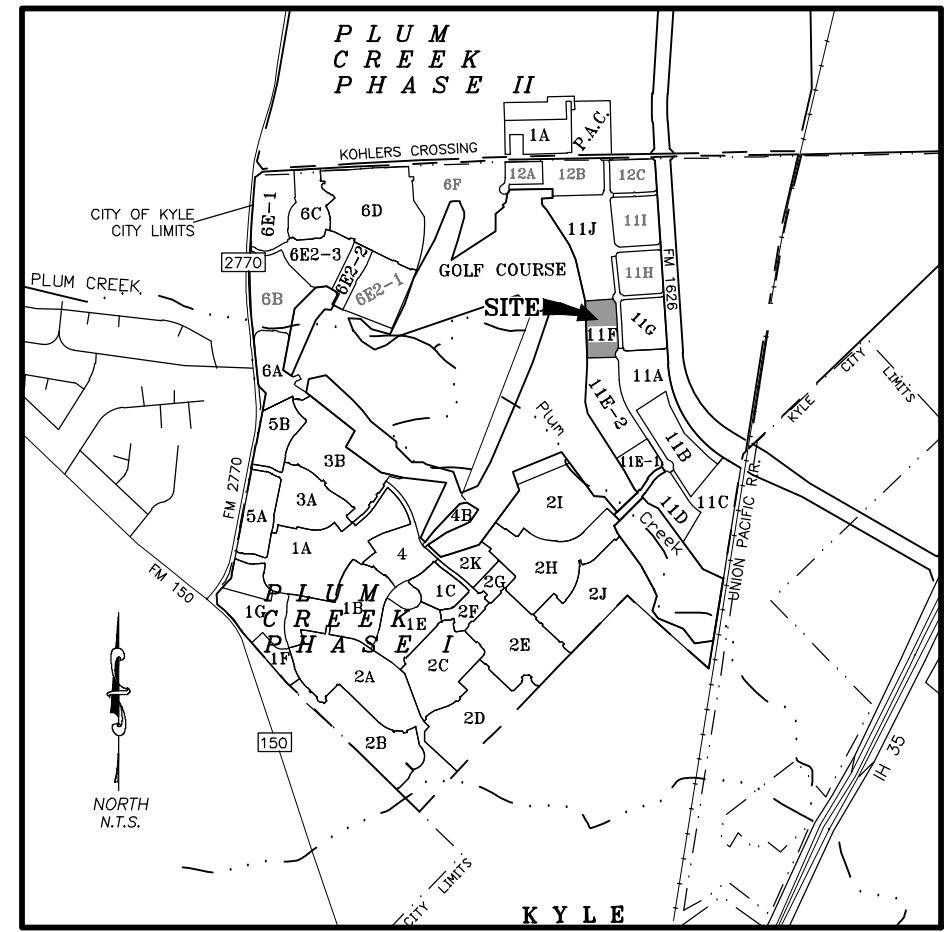
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE PLAT AND ALL PLANS AND SPECIFICATIONS WHICH ARE INCLUDED WITH THE PLAT ARE, TO THE BEST OF MY PROFESSIONAL CAPACITY, COMPLETE AND ACCURATE AND IN COMPLIANCE WITH ALL RELEVANT CITY ORDINANCES, CODES, PLANS, AND RELEVANT STATE STANDARDS.

BY: _____
 NICOLE FOLTA FINDEISEN, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 NO. 91778 - STATE OF TEXAS
 AXIOM ENGINEERS INC.
 13276 RESEARCH BLVD., ST. 208
 AUSTIN, TEXAS 78750
 512-506-9335

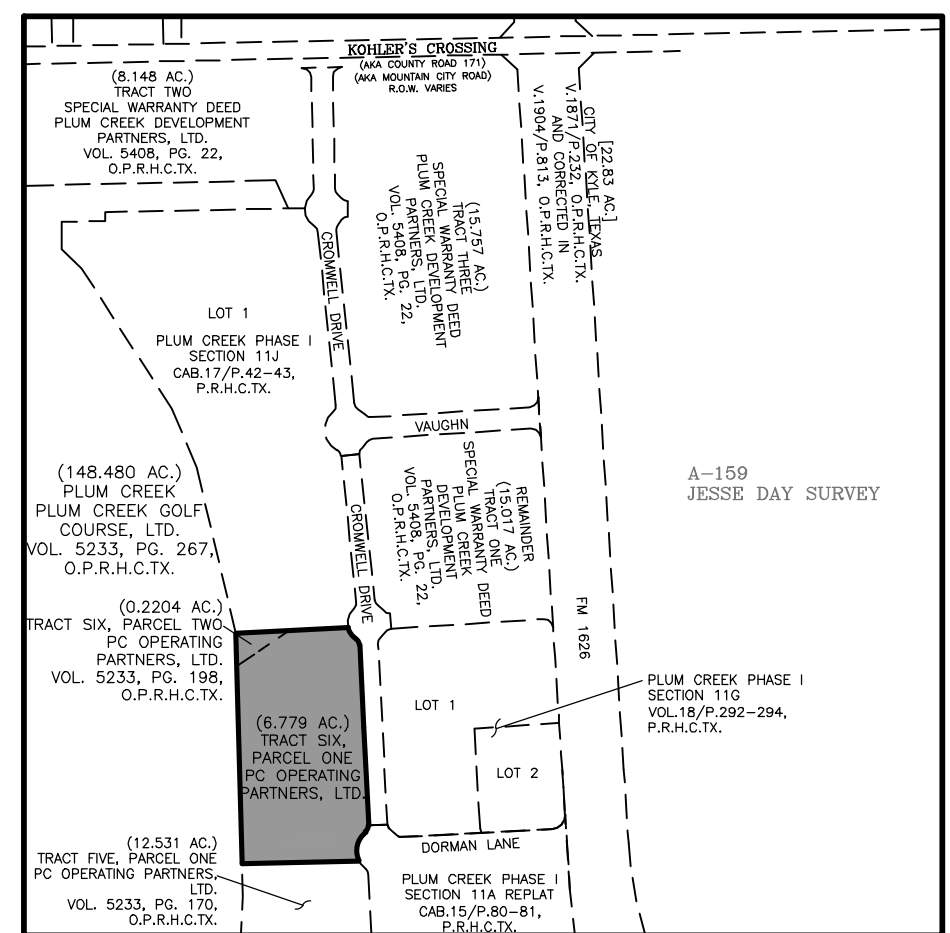
STATE OF TEXAS §
 COUNTY OF TRAVIS §

I, JOHN D. BARNARD, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL ON-THE-GROUND SURVEY MADE UNDER MY DIRECTION AND SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

BY: _____
 JOHN D. BARNARD
 REGISTERED PROFESSIONAL LAND SURVEYOR
 NO. 5749 - STATE OF TEXAS
 BOWMAN CONSULTING GROUP, LTD.
 1120 CAPITAL OF TEXAS HWY, BUILDING 3, SUITE 220
 AUSTIN, TEXAS 78746
 512-327-1180



LOCATION MAP
 NOT TO SCALE



SITE MAP
 SCALE: 1" = 500'

NOTES:

- TOTAL ACREAGE: 6.999 ACRES.
- THE TOTAL AREA OF PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED IN THIS SUBDIVISION IS 0.000 ACRES.
- TOTAL NUMBER OF LOTS: 1
- PLAT COMPLETELY CONFORMS WITH PLUM CREEK P.U.D. PLANNED UNIT DEVELOPMENT & CITY OF KYLE ORDINANCE 308 AND 311 AS AMENDED.
- SIDEWALKS ALONG PUBLIC RIGHT-OF-WAY ADJACENT TO LOT 1, BLOCK A SHALL BE INSTALLED BY THE OWNER OF LOT 1, BLOCK A AT THE TIME OF SITE DEVELOPMENT AND PRIOR TO SUCH OWNER'S OCCUPANCY OF LOT 1, BLOCK A.
- NO OBJECT INCLUDING BUILDING, ACCESSORY BUILDING, FENCING OR LANDSCAPING WHICH WOULD INTERFERE WITH CONVEYANCE OF STORM WATER SHALL BE PLACED OR ERECTED WITHIN DRAINAGE EASEMENTS.
- ALL UTILITIES WITHIN THIS SUBDIVISION SHALL BE UNDERGROUND.
- ALL OPEN SPACES, DRAINAGE EASEMENTS AND LANDSCAPE EASEMENT AREAS DEPICTED HEREON SHALL BE MAINTAINED, KEPT NEATLY CUT, FREE FROM DEBRIS AND, WITH RESPECT TO DRAINAGE EASEMENTS, FREE FROM TREE/BRUSH RE-GROWTH BY THE COMMERCIAL PROPERTY OWNER'S ASSOCIATION (THE "POA") OR ITS SUCCESSORS OR ASSIGNS.
- THE OWNER OF LOT 1, BLOCK A IS REQUIRED TO SUBMIT THE SITE DEVELOPMENT PLAN FOR LOT 1, BLOCK A TO THE CITY OF KYLE, PLUM CREEK OPERATING PARTNERS, AND, IF NOT THE SAME PARTIES AS ARE IN PLUM CREEK OPERATING PARTNERS, THEN THE ARCHITECTURAL REVIEW COMMITTEE FOR THE POA, FOR THEIR RESPECTIVE REVIEWS AND APPROVALS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY ON OR AROUND LOT 1, BLOCK A, INCLUDING, WITHOUT LIMITATION, THE INSTALLATION OF THE SIDEWALKS AND ANY OTHER IMPROVEMENTS REQUIRED HEREIN.
- PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS ON LOT 1, BLOCK A IN THIS SUBDIVISION, SITE DEVELOPMENT AND/OR BUILDING PERMITS WILL BE OBTAINED FROM THE CITY OF KYLE

FLOOD NOTE:

THIS SUBDIVISION (PLUM CREEK PHASE I, SECTION 11F) IS SHOWN TO BE IN FLOOD ZONE X, OTHER AREAS, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY FLOOD INSURANCE RATE MAP FOR HAYS COUNTY TEXAS, CITY OF KYLE COMMUNITY NO. 481108, MAP NUMBER 48209C 0290F, EFFECTIVE DATE SEPTEMBER 2, 2005.

THE ABOVE STATEMENT IS MEANT FOR FLOOD INSURANCE DETERMINATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S).

BENCHMARK LIST: - DATUM - NAVD88

- | | |
|--|---|
| BENCHMARK LAI BM100801-01:
SQUARE CUT SET ON THE NORTHWEST CORNER OF A CONCRETE HEADWALL, ALONG THE EAST R.O.W. OF F.M. 1626, APPROXIMATELY 350 FEET NORTH OF THE INTERSECTION WITH DORMAN LANE.
ELEVATION = 742.72 FEET | BENCHMARK 100801-02:
SQUARE SET ON NW CORNER OF CONCRETE CULVERT APRON
ELEVATION=741.71' |
| BENCHMARK 080410-01:
SQUARE SET AT NE CORNER OF STONE PLUM CREEK SIGN AT INTERSECTION OF THE SOUTH LINE OF KOHLER'S AND THE WEST LINE OF KYLE PARKWAY.
ELEVATION=760.14 FEET | BENCHMARK 080410-03:
MAG-NAIL SET ON CONCRETE APRON AT INTERSECTION OF VAUGHN AND KYLE PARKWAY.
ELEVATION=760.14 FEET |
| BENCHMARK 080410-04:
SQUARE SET ON TOP OF CURB
ELEVATION=776.53 FEET | BENCHMARK 080410-04:
SQUARE SET ON TOP OF CURB
ELEVATION=744.14' |

FILE: H:\Survey\Plum_Crk_Ph1\Section-11\Sec-11F\11F\Plat\Plum-11F-PRELIMINARY PLAT.dwg			
DATE: 11-08-16	DRAWN BY: EN	CREW: MK, CAF	
SCALE: 1"=60'	CHECKED BY: J.D.B.	FB #:	
JOB #: 005549	DRAWING: PRELIMINARY	PLAN #: 1179A	
NO.	REVISION	BY	DATE



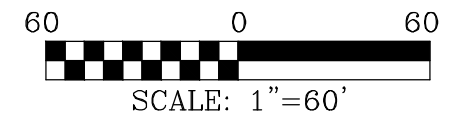
Bowman Consulting Group, Ltd.
 1120 S. Capital of Texas Hwy, Building 3, Suite 220, Austin, Texas 78746
 Phone: (512) 327-1180 Fax: (512) 327-4062
 www.bowmanconsulting.com © Bowman Consulting Group, Ltd.
 TBPE Firm No. F-14309 | TBPLS Firm No. 101206-00

PRELIMINARY PLAT
PLUM CREEK
PHASE I - SECTION 11F
HAYS COUNTY, TEXAS

PLUM CREEK PHASE I, SECTION 11F – PRELIMINARY PLAT

FOR REVIEW ONLY

FUTURE SECTION 11H



JANUARY, 2017
HAYS COUNTY, TEXAS

LEGEND

- LAI 1/2" IRON ROD W/ PLASTIC CAP STAMPED "LAI" PREVIOUSLY SET
- LOOMIS 1/2" IRON ROD W/ PLASTIC CAP STAMPED "LOOMIS" PREVIOUSLY SET
- 1/2" IRON ROD W/ PLASTIC CAP STAMPED "BCG" SET
- RLS 1/2" IRON ROD W/ PLASTIC CAP STAMPED "RANGERLAND SURVEYING" FOUND
- △ CALCULATED POINT
- ⊙ BENCHMARK
- D.R.H.C.TX. DEED RECORDS OF HAYS COUNTY, TEXAS
- P.R.H.C.TX. PLAT RECORDS OF HAYS COUNTY, TEXAS
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS
- () RECORD INFORMATION
- P.C.D.P., LTD. PLUM CREEK DEVELOPMENT PARTNERS, LTD.
- P.U.E. PUBLIC UTILITY EASEMENT
- DEED LINE

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N 87°00'20" E	7.64'
L2	S 88°29'41" W	8.19'
L3	S 87°00'20" W	1.98'
L4	N 02°59'40" W	16.17'
L5	N 87°00'20" E	1.98'
L6	S 42°55'08" W	21.56'

CURVE TABLE				
CURVE #	RADIUS	ARC DISTANCE	CHORD BEARING	CHORD DISTANCE
C1	65.00'	46.16'	S 34°58'57" E	45.19'
(C1)	(65.00')	(46.16')	(S 34°58'57" E)	(45.19')
C2	25.00'	22.83'	S 29°09'35" E	22.05'
(C2)	(25.00')	(22.83')	(S 29°09'35" E)	(22.05')
C3	25.00'	24.71'	S 25°19'20" W	23.72'
(C3)	(25.00')	(24.71')	(S 25°19'20" W)	(23.72')
C4	75.00'	104.80'	S 13°36'28" W	96.48'
(C4)	(75.00')	(104.80')	(S 13°36'28" W)	(96.48')
C5	75.00'	34.08'	S 39°26'16" E	33.78'
(C5)	(75.00')	(34.08')	(S 39°26'16" E)	(33.78')
C6	82.50'	111.83'	S 14°48'23" W	103.46'
C7	82.50'	18.26'	S 17°41'08" E	18.22'
C8	82.50'	93.57'	S 21°08'49" W	88.63'
C9	17.50'	17.30'	N 25°19'24" E	16.60'
C10	17.50'	15.98'	N 29°09'35" W	15.43'
C11	72.50'	53.02'	N 34°22'23" W	51.85'

BLOCK A
LOT 1

PLUM CREEK PHASE I
SECTION 11J
SUBDIVISION
VOL.17/P.42-43,
P.R.H.C.TX.

REMAINDER
(15.017 AC.)
TRACT ONE
SPECIAL WARRANTY DEED
PLUM CREEK DEVELOPMENT PARTNERS, LTD.
VOL. 5408, PG. 22,
O.P.R.H.C.TX.

FUTURE WHITTENBURG
50' R.O.W.

LOT 1

BLOCK A

PLUM CREEK PHASE I
SECTION 11G
SUBDIVISION
VOL.18/P.292-294,
P.R.H.C.TX.

LOT 2

A-159
JESSE DAY SURVEY

SHARED ACCESS EASEMENT BETWEEN PLUM CREEK, PHASE 1, SEC. 11F AND PLUM CREEK, PHASE 1, SEC. 11E-2, STATE OF TEXAS, COUNTY OF HAYS, INSTRUMENT NO. 17003380, O.P.R.H.C.TX.

DORMAN LANE
(80' R.O.W.)

BENCHMARK 080410-04:
SQUARE SET ON TOP OF CURB
ELEVATION=744.14'

LOT 2

PLUM CREEK PHASE I
SECTION 11A REPLAT
CAB.15/P.80-81, P.R.H.C.TX.

LOT 1

NOTES:

1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83, GRID.
2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID, MULTIPLY BY THE COMBINED SCALE FACTOR.
3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.999907.

SHEET 2 OF 2

FILE: H:\Survey\Plum_Crk_Ph1\Section-11\Sec-11F\11F\Plat\Plum-11F-PRELIMINARY PLAT.dwg			
DATE: 11-08-16	DRAWN BY: EN	CREW: MK, CAF	
SCALE: 1"=60'	CHECKED BY: J.D.B.	FB #:	
JOB #: 005549	DRAWING: PRELIMINARY	PLAN #: 1179A	
NO.	REVISION	BY	DATE



Bowman Consulting Group, Ltd.
1120 S. Capital of Texas Hwy, Building 3, Suite 220, Austin, Texas 78746
Phone: (512) 327-1180 Fax: (512) 327-4062
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.
TBPE Firm No. F-14309 | TBPLS Firm No. 101206-00

PRELIMINARY PLAT
PLUM CREEK
PHASE I – SECTION 11F
HAYS COUNTY, TEXAS

4. CONSENT AGENDA – ITEM B

Plum Creek Phase 1, Section 11F – Final Plat (FP-16-014)

PLUM CREEK PHASE I, SECTION 11F

FINAL PLAT

FOR REVIEW ONLY

STATE OF TEXAS §
 COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS, THAT WE, PC OPERATING PARTNERS, LTD., A LIMITED PARTNERSHIP ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF TEXAS, WITH ITS HOME ADDRESS AT 610 WEST 5TH STREET, SUITE 601, AUSTIN, TEXAS 78701, BEING THE OWNER OF THAT CERTAIN 6.999 ACRE TRACT OF LAND IN THE JESSE DAY SURVEY, A-159, HAYS COUNTY, TEXAS; BEING ALL OF THAT CERTAIN CALLED 6.779 ACRE TRACT OF LAND DESIGNATED AS TRACT SIX, PARCEL ONE AND DESCRIBED IN THE DEED TO PC OPERATING PARTNERS, LTD. OF RECORD IN VOLUME 5233, PAGE 170, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, AND BEING ALL OF A CERTAIN CALLED 0.2204 ACRE TRACT OF LAND DESIGNATED AS TRACT SIX, PARCEL TWO AND DESCRIBED IN THE DEED TO PC OPERATING PARTNERS, LTD. OF RECORD IN VOLUME 5233, PAGE 198, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; DO HEREBY SUBDIVIDE SAID 6.999 ACRES AS SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE **PLUM CREEK PHASE I, SECTION 11F** SUBDIVISION TO THE CITY OF KYLE, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER PUBLIC RIGHT OF WAY AND DRAINS, EASEMENTS (EXCLUDING LANDSCAPE AREA WITHIN EASEMENTS), PARKS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

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PC OPERATING PARTNERS, LTD.,
 A TEXAS LIMITED PARTNERSHIP

BY: PCOP GP, LLC, GENERAL PARTNER
 A TEXAS LIMITED LIABILITY COMPANY

BY: BENCHMARK LAND & EXPLORATION, INC., A MEMBER/MANAGER
 A TEXAS CORPORATION

BY: _____
 MYRA J. GOEPP, VICE PRESIDENT

STATE OF TEXAS §
 COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, MYRA J. GOEPP, VICE PRESIDENT OF BENCHMARK LAND & EXPLORATION, INC., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

BY: _____
 NOTARY PUBLIC

STATE OF TEXAS §
 COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS:

THAT, LIZ Q. GONZALEZ, CLERK OF HAYS COUNTY COURT DOES HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND THE CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORDS IN MY

OFFICE ON THE _____ DAY OF _____, 20____, A.D., IN THE PLAT RECORDS OF SAID

COUNTY AND STATE IN PLAT CABINET _____, PAGE(S) _____ WITNESS MY HAND AND SEAL OF OFFICE

OF COUNTY CLERK OF SAID COUNTY ON THIS THE _____ DAY OF _____, 20____, A.D.

FILED FOR RECORD AT _____ O'CLOCK ____M. THIS THE _____ DAY OF _____, 20____, A.D.

BY: _____
 LIZ Q. GONZALEZ
 COUNTY CLERK
 HAYS COUNTY, TEXAS

I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING COMMISSION OF THE CITY OF KYLE HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY AS TO WHICH THE COMMISSION'S APPROVAL IS REQUIRED.

BY: _____
 CHAIRPERSON

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DATED THIS _____ DAY OF _____, 20____.

BY: _____
 ATTEST:

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STATE OF TEXAS §
 COUNTY OF TRAVIS §

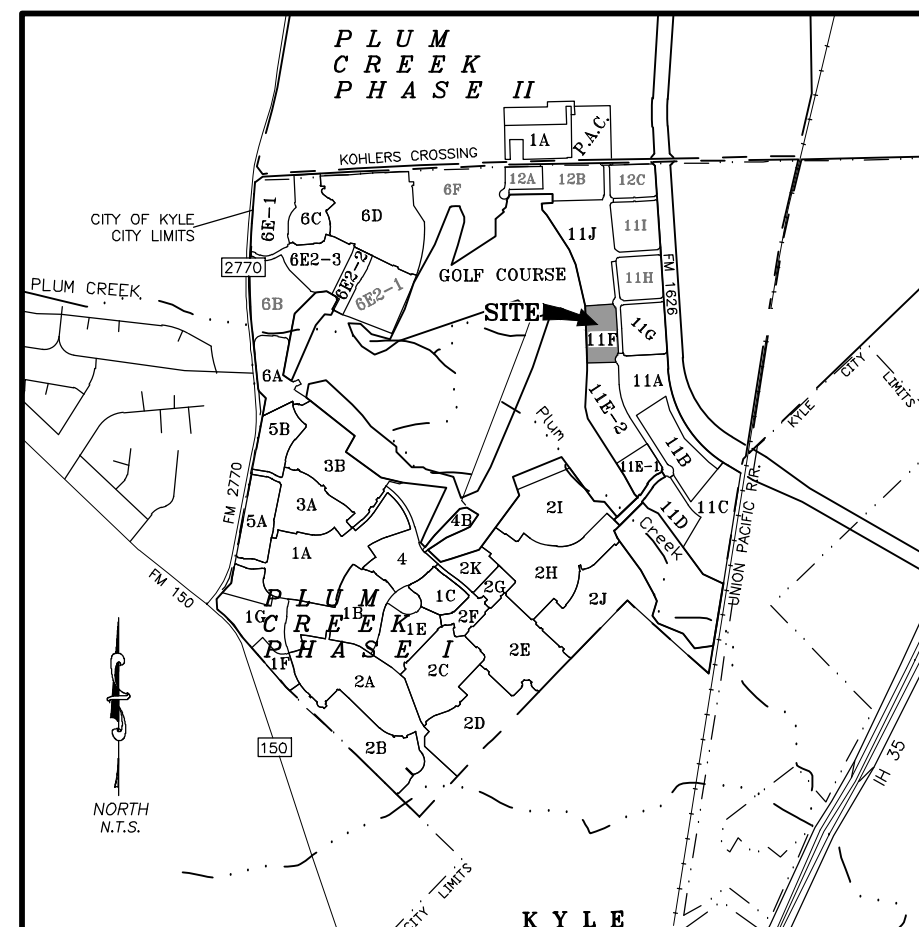
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BY: _____
 NICOLE FOLTA FINDEISEN, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 NO. 91778 - STATE OF TEXAS
 AXIOM ENGINEERS INC.
 13276 RESEARCH BLVD., ST. 208
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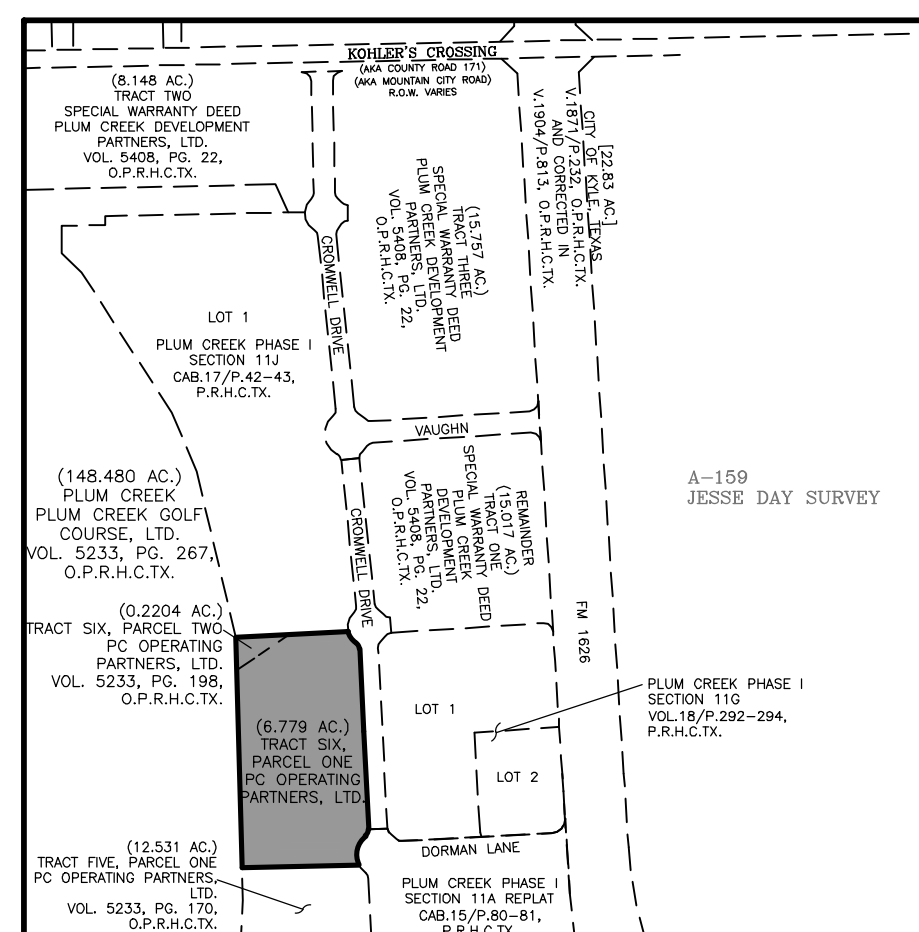
STATE OF TEXAS §
 COUNTY OF TRAVIS §

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BY: _____
 JOHN D. BARNARD
 REGISTERED PROFESSIONAL LAND SURVEYOR
 NO. 5749 - STATE OF TEXAS
 BOWMAN CONSULTING GROUP, LTD.
 1120 CAPITAL OF TEXAS HWY, BUILDING 3, SUITE 220
 AUSTIN, TEXAS 78746
 512-327-1180



LOCATION MAP
 NOT TO SCALE



SITE MAP
 SCALE: 1" = 500'

NOTES:

1. TOTAL ACREAGE: 6.999 ACRES.
2. THE TOTAL AREA OF PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED IN THIS SUBDIVISION IS 0.000 ACRES.
3. TOTAL NUMBER OF LOTS: 1
4. PLAT COMPLETELY CONFORMS WITH PLUM CREEK P.U.D. PLANNED UNIT DEVELOPMENT & CITY OF KYLE ORDINANCE 308 AND 311 AS AMENDED.
5. SIDEWALKS ALONG PUBLIC RIGHT-OF-WAY ADJACENT TO LOT 1, BLOCK A SHALL BE INSTALLED BY THE OWNER OF LOT 1, BLOCK A AT THE TIME OF SITE DEVELOPMENT AND PRIOR TO SUCH OWNER'S OCCUPANCY OF LOT 1, BLOCK A.
6. NO OBJECT INCLUDING BUILDING, ACCESSORY BUILDING, FENCING OR LANDSCAPING WHICH WOULD INTERFERE WITH CONVEYANCE OF STORM WATER SHALL BE PLACED OR ERECTED WITHIN DRAINAGE EASEMENTS.
7. ALL UTILITIES WITHIN THIS SUBDIVISION SHALL BE UNDERGROUND.
8. ALL OPEN SPACES, DRAINAGE EASEMENTS AND LANDSCAPE EASEMENT AREAS DEPICTED HEREON SHALL BE MAINTAINED, KEPT NEATLY CUT, FREE FROM DEBRIS AND, WITH RESPECT TO DRAINAGE EASEMENTS, FREE FROM TREE/BRUSH RE-GROWTH BY THE COMMERCIAL PROPERTY OWNER'S ASSOCIATION (THE "POA") OR ITS SUCCESSORS OR ASSIGNS.
9. THE OWNER OF LOT 1, BLOCK A IS REQUIRED TO SUBMIT THE SITE DEVELOPMENT PLAN FOR LOT 1, BLOCK A TO THE CITY OF KYLE, PLUM CREEK OPERATING PARTNERS, AND, IF NOT THE SAME PARTIES AS ARE IN PLUM CREEK OPERATING PARTNERS, THEN THE ARCHITECTURAL REVIEW COMMITTEE FOR THE POA, FOR THEIR RESPECTIVE REVIEWS AND APPROVALS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY ON OR AROUND LOT 1, BLOCK A, INCLUDING, WITHOUT LIMITATION, THE INSTALLATION OF THE SIDEWALKS AND ANY OTHER IMPROVEMENTS REQUIRED HEREIN.
10. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS ON LOT 1, BLOCK A IN THIS SUBDIVISION, SITE DEVELOPMENT AND/OR BUILDING PERMITS WILL BE OBTAINED FROM THE CITY OF KYLE

FLOOD NOTE:

THIS SUBDIVISION (PLUM CREEK PHASE I, SECTION 11F) IS SHOWN TO BE IN FLOOD ZONE X, OTHER AREAS, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY FLOOD INSURANCE RATE MAP FOR HAYS COUNTY TEXAS, CITY OF KYLE COMMUNITY NO. 481108, MAP NUMBER 48209C 0290F, EFFECTIVE DATE SEPTEMBER 2, 2005.

THE ABOVE STATEMENT IS MEANT FOR FLOOD INSURANCE DETERMINATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S).

BENCHMARK LIST: - DATUM - NAVD88

- | | |
|--|---|
| BENCHMARK LAI BM100801-01:
SQUARE CUT SET ON THE NORTHWEST CORNER OF A CONCRETE HEADWALL, ALONG THE EAST R.O.W. OF F.M. 1626, APPROXIMATELY 350 FEET NORTH OF THE INTERSECTION WITH DORMAN LANE.
ELEVATION = 742.72 FEET | BENCHMARK 100801-02:
SQUARE SET ON NW CORNER OF CONCRETE CULVERT APRON
ELEVATION=741.71' |
| BENCHMARK 080410-01:
SQUARE SET AT NE CORNER OF STONE PLUM CREEK SIGN AT INTERSECTION OF THE SOUTH LINE OF KOHLER'S AND THE WEST LINE OF KYLE PARKWAY.
ELEVATION=760.14 FEET | BENCHMARK 080410-03:
MAG-NAIL SET ON CONCRETE APRON AT INTERSECTION OF VAUGHN AND KYLE PARKWAY.
ELEVATION=760.14 FEET |
| BENCHMARK 080410-04:
SQUARE SET ON TOP OF CURB
ELEVATION=776.53 FEET | BENCHMARK 080410-04:
SQUARE SET ON TOP OF CURB
ELEVATION=744.14' |

FILE: H:\Survey\Plum_Crk_Ph1\Section-11\Sec-11F\11F\Plat\Plum-11F-FINAL PLAT.dwg			
DATE: 11-08-16	DRAWN BY: EN	CREW: MK, CAF	
SCALE: 1"=60'	CHECKED BY: J.D.B.	FB #:	
JOB #: 005549	DRAWING: FINAL	PLAN #: 1179	
NO.	REVISION	BY	DATE

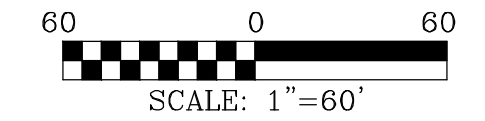


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FINAL PLAT
PLUM CREEK
 PHASE I - SECTION 11F
 HAYS COUNTY, TEXAS

PLUM CREEK PHASE I, SECTION 11F – FINAL PLAT *FOR REVIEW ONLY*

FUTURE SECTION 11H



JANUARY, 2017
HAYS COUNTY, TEXAS

LEGEND

- LAI 1/2" IRON ROD W/ PLASTIC CAP STAMPED "LAI" PREVIOUSLY SET
- LOOMIS 1/2" IRON ROD W/ PLASTIC CAP STAMPED "LOOMIS" PREVIOUSLY SET
- 1/2" IRON ROD W/ PLASTIC CAP STAMPED "BCG" SET
- RLS 1/2" IRON ROD W/ PLASTIC CAP STAMPED "RANGERLAND SURVEYING" FOUND
- △ CALCULATED POINT
- ⊙ BENCHMARK
- D.R.H.C.TX. DEED RECORDS OF HAYS COUNTY, TEXAS
- P.R.H.C.TX. PLAT RECORDS OF HAYS COUNTY, TEXAS
- O.P.R.H.C.TX. OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS
- () RECORD INFORMATION
- P.C.D.P., LTD. PLUM CREEK DEVELOPMENT PARTNERS, LTD.
- P.U.E. PUBLIC UTILITY EASEMENT
- DEED LINE

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N 87°00'20" E	7.64'
L2	S 88°29'41" W	8.19'
L3	S 87°00'20" W	1.98'
L4	N 02°59'40" W	16.17'
L5	N 87°00'20" E	1.98'
L6	S 42°55'08" W	21.56'

CURVE TABLE				
CURVE #	RADIUS	ARC DISTANCE	CHORD BEARING	CHORD DISTANCE
C1	65.00'	46.16'	S 34°58'57" E	45.19'
(C1)	(65.00')	(46.16')	(S 34°58'57" E)	(45.19')
C2	25.00'	22.83'	S 29°09'35" E	22.05'
(C2)	(25.00')	(22.83')	(S 29°09'35" E)	(22.05')
C3	25.00'	24.71'	S 25°19'20" W	23.72'
(C3)	(25.00')	(24.71')	(S 25°19'20" W)	(23.72')
C4	75.00'	104.80'	S 13°36'28" W	96.48'
(C4)	(75.00')	(104.80')	(S 13°36'28" W)	(96.48')
C5	75.00'	34.08'	S 39°26'16" E	33.78'
(C5)	(75.00')	(34.08')	(S 39°26'16" E)	(33.78')
C6	82.50'	111.83'	S 14°48'23" W	103.46'
C7	82.50'	18.26'	S 17°41'08" E	18.22'
C8	82.50'	93.57'	S 21°08'49" W	88.63'
C9	17.50'	17.30'	N 25°19'24" E	16.60'
C10	17.50'	15.98'	N 29°09'35" W	15.43'
C11	72.50'	53.02'	N 34°22'23" W	51.85'

BLOCK A
LOT 1

PLUM CREEK PHASE I
SECTION 11J
SUBDIVISION
VOL.17/P.42-43,
P.R.H.C.TX.

REMAINDER
(15.017 AC.)
TRACT ONE
SPECIAL WARRANTY DEED
PLUM CREEK DEVELOPMENT PARTNERS, LTD.
VOL. 5408, PG. 22,
O.P.R.H.C.TX.

FUTURE WHITTENBURG
50' R.O.W.

LOT 1

BLOCK A

PLUM CREEK PHASE I
SECTION 11G
SUBDIVISION
VOL.18/P.292-294,
P.R.H.C.TX.

LOT 2

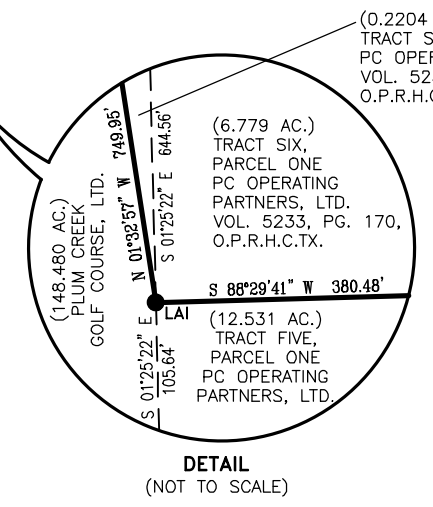
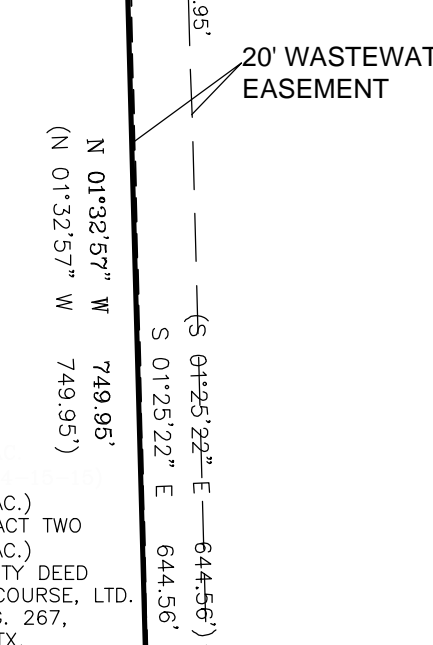
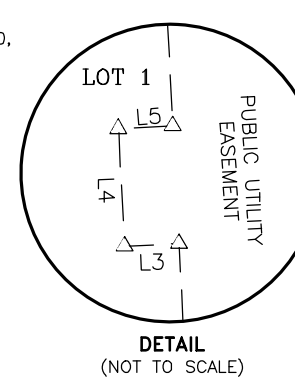
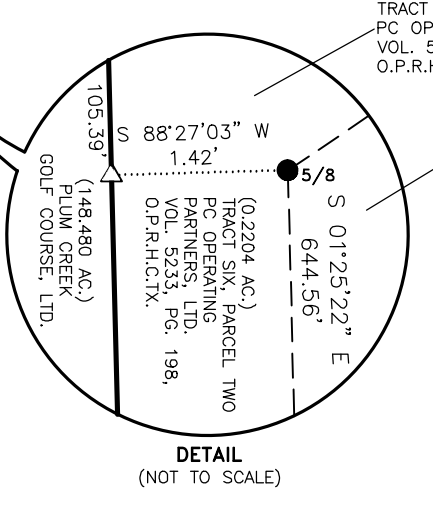
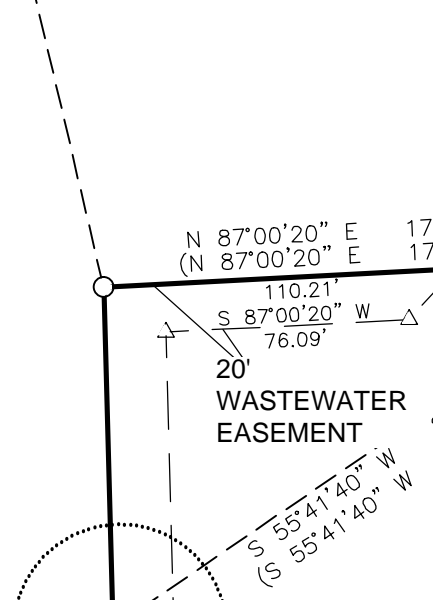
DORMAN LANE
(80' R.O.W.)

LOT 2

LOT 1

PLUM CREEK PHASE I
SECTION 11A REPLAT
CAB.15/P.80-81, P.R.H.C.TX.

SHEET 2 OF 2



- NOTES:**
1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83, GRID.
 2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID, MULTIPLY BY THE COMBINED SCALE FACTOR.
 3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.999907.

FILE: H:\Survey\Plum_Crk_Ph1\Section-11\Sec-11F\11F\Plat\Plum-11F-FINAL PLAT.dwg			
DATE: 11-08-16	DRAWN BY: EN	CREW: MK, CAF	
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FINAL PLAT
PLUM CREEK
PHASE I – SECTION 11F
HAYS COUNTY, TEXAS