

Community Commercial District, CC

Purpose

The purpose of the community commercial district is to provide for slightly more intense commercial uses than allowed in the neighborhood commercial zoning district. The district is established to provide areas for quality retail establishments and service facilities. This district should generally consist of retail nodes located along or at the intersection of major collectors or thoroughfares to accommodate higher traffic volumes.

Applicability

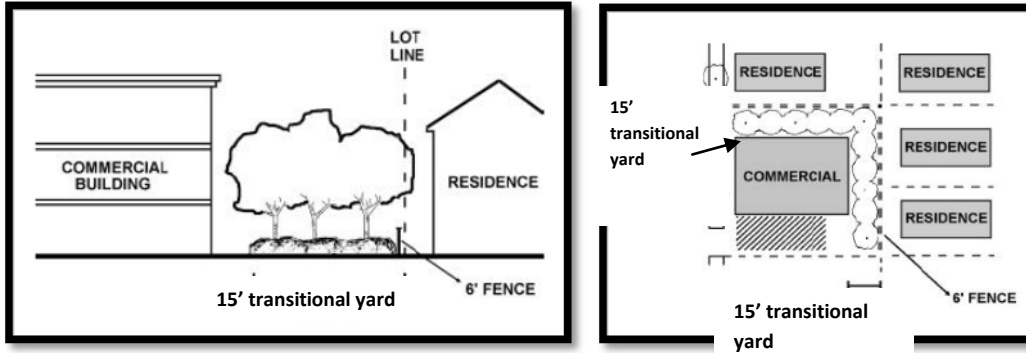
Any building constructed or reconstructed within a Community Commercial zoned property shall adhere to the following requirements.

Building Placement:

Front Setback (min. feet)	Side Setback (min. feet)	Side Setback to Residential district (min. feet)	Corner lot- side setback	Rear Setback* (min. feet)	Lot Width (min. feet)	Max. Height
25'	10'	15'	15'	25	80	3 stories

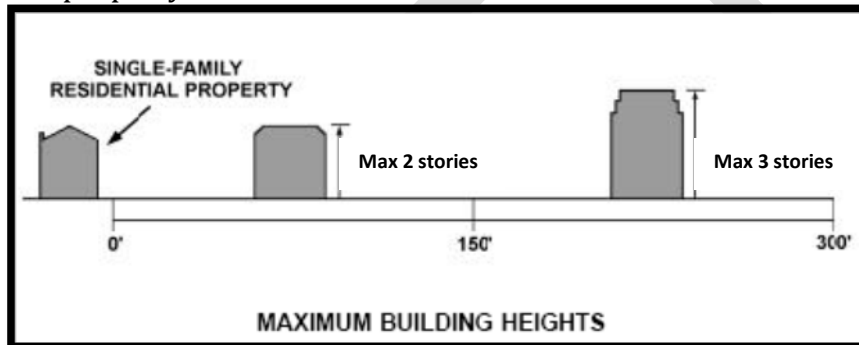
**When the rear or side lot line abuts a single family residential zoned lot or property used for a single family residence the rear/side setback shall consist of the following transitional yards:*

- A 15-foot wide planting area consisting of 1 shade tree, 2 evergreen trees and 8 evergreen shrubs per 50' linear feet of lot width.
- 6 foot privacy fence



Lot Size: minimum 8,000 square foot lot

Height Regulations: maximum height of 2 stories within 150 feet from single-family residential zoned property and 3 stories between 150 and 300 feet from single-family residential zoned property.**



** Stories shall not exceed 14 feet in height from finished floor to finished ceiling. A single floor level exceeding 14 feet shall be counted as two (2) stories

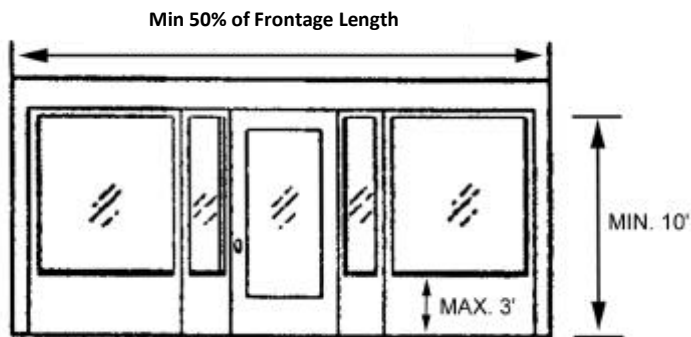
Design

- Primary entrances shall face the public street.
- The exterior walls shall be constructed of 100 percent stone, brick, masonry, stucco, masonry veneer, or similar granular product excluding doorways and windows. All walls must include materials and design characteristics consistent with those on the front (wood and metal may be used as accent material)



An example of four-sided design

- Windows or doors of clear or lightly tinted glass (no high glare glass) shall comprise at least fifty percent (50%) of the frontage length measured between three (3) feet and ten (10) feet above grade, for retail buildings and shall comprise at least 30% of the frontage length for non-retail based buildings. Windows shall be distributed in a more or less even manner



- For new non-residential development all buildings shall incorporate at least four of the following buildings elements:
 - Awnings
 - Pillars
 - Canopies
 - Alcoves
 - Recessed entries
 - Ornamental cornices (other than colored stripes or bands alone)
 - Pillar posts
- Exterior walls cannot have a blank uninterrupted length greater than 30 feet, without including two or more features:
 - Change in plane
 - Change in texture or masonry pattern
 - Windows
 - Other equivalent that subdivide the wall into a human scale

Site Standards

The site development regulations for uses in the CC district are as follows:

Landscaping

- Street Trees shall be planted a minimum of 30 feet on center. A minimum of 25% of the lot area shall be devoted to landscaping (all landscaping shall consist of drought tolerant plants). 50% of the required landscaping shall be located in front of the primary building.

Sidewalks

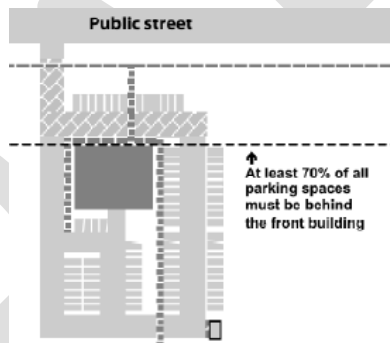
- Paved sidewalks, driveways and parking areas are required. The sidewalks and pedestrian walkways must be constructed of brick, pavers, or concrete with an exposed broom finish, and connect to the adjacent property having a common frontage.

Screening

- Screening of loading, trash, recycling and storage facilities is required. All trash and recycling receptacles shall be stored behind the host building. The materials used for screening must be compatible with the materials used on the host building.

Parking

70% of all parking shall be setback behind the front building of the building. Curb cuts for parking areas shall not exceed 25 feet in width.



Detention Facilities

Detention and water quality ponds shall utilize earthen berms and be designed with a curvilinear contoured shape. Any structural stabilization shall be limited to the use of native stone (except for outlet structure) and shall be limited to not more than 30% of the perimeter of the pond and shall be seamlessly integrated with landscape.

Lighting

Site lighting shall shine downward and be shielded so that light sources are not visible from public thoroughfares or from adjacent residential zoned or used property. Lighting pole standards shall not exceed a height of 18 feet.

Fencing

Any fencing in front, or to the side on corner lots, shall not exceed a height of 3 feet and any solid fencing material shall not exceed a height of 2 feet. No chain link, sheet metal, plastic, vinyl, barbed wire or horizontal metal pipe larger than 2 inches in diameter shall be used.

Use

The Neighborhood Commercial zoning district shall allow professional offices and small businesses serving neighborhood community needs. The following uses shall be permitted:

- Multifamily on the second floor and above shall be permitted by right regardless of base zoning
- Lodging up to 12 rooms
- Bed and Breakfast up to 5 rooms
- Retail
- Restaurant
- Religious Assembly
- Art Gallery
- Child Care Center (outdoor playground allowed)
- Fire/Police Station
- Professional Office
- Funeral Home
- Barber/Beauty Shop
- Convenience/ Grocery Store
- Fuel Station*
- Nursing/Retirement Homes
- Veterinarian-without outdoor boarding
- Health and Fitness Center
- Restaurant with drive-thru*
- Financial Institution w/ drive thru banking

*See special standards

Special Standards

Size of Building: First Floors are limited to a maximum of 15,000 square feet.

Permanent outdoor storage shall not be allowed. Outdoor dining shall be allowed. Limited Outdoor Display shall be allowed with no more than 10% of the lot area to be used for merchandise (merchandise shall not be left outside overnight). Outdoor displays shall not be allowed in any required off-street parking spaces.

Establishments located on property that are within 300 feet of any property zoned for a residential use established may not be open to the general public before 6:00 a.m. and must be closed to the general public by 10:00 p.m.

Fuel Stations must adhere to the following requirements:

- Fascias of the canopy shall be finished to match the building material and color. Striping and banding of canopies is prohibited.
- No more than 8 fuel pumps shall be allowed within the Community Commercial zoning designation.

Drive-through facilities (speakers, menu boards, or drive-through windows) shall not be located within 75 ft of a residentially zoned property. Drive-through facilities shall not face a public ROW. Drive-through lanes and facilities shall be located to the side and rear of the primary building. A minimum of a 10 ft wide landscape area along the edge of a site where parking areas, drive lanes are adjacent to a public street shall be provided. The landscape area shall include trees, shrubs and/ or low walls to screen cars from view while allowing eye level visibility into the site.