

CITY OF KYLE

PLANNING AND ZONING COMMISSION SPECIAL CALLED MEETING



Kyle City Hall, 100 W. Center Street,
Kyle, Texas 78640

Notice is hereby given that Planning and Zoning Commission of the City of Kyle, Texas will meet at 6:30 PM on June 27, 2017, at Kyle City Hall, 100 W. Center Street, Kyle, Texas 78640, for the purpose of discussing the following agenda.

NOTE: There may be a quorum of the City Council of Kyle, Texas present at the meeting who may participate in the discussion. No official action will be taken by the City Council members in attendance.

Posted this 23rd day of June, 2107 prior to 6:30 P.M.

1. CALL THE MEETING TO ORDER

A.Roll Call

2. CITIZEN COMMENTS

3. CONSENT

A Sunset Hills Subdivision Revised Preliminary Plan.(PP-17-003) 52.990 acres; 210 single family lots and 5 open space lots located north of Bebee Road approximately 0.5 miles east of IH-35.

Staff Proposal to P&Z Approve the Revised Preliminary Plan

B Stagecoach Subdivision - Preliminary Plan (PP-17-002) 272 single family lots, 8 LSE, SWE & PUE lots, 3 Water Quality Esmt & D.E. lots, 1 park lot and 1 mail kiosk lot located east of Old Stagecoach Road and west of Scott Street.

Staff Proposal to P&Z: Approve the Preliminary Plan

C Plum Creek Vue Apartments - Site Plan (SD-17-006) 7 acres; 1 lot located at 4624

Cromwell Drive.

Staff Proposal to P&Z: Approve the Site Plan

4. ADJOURNMENT

*Per Texas Attorney General Opinion No. JC-0169; Open Meeting & Agenda Requirements, Dated January 24, 2000: The permissible responses to a general member communication at the meeting are limited by 551.042, as follows: "SEC. 551.042. Inquiry Made at Meeting. (a) If, at a meeting of a government body, a member of the public or of the governmental body inquires about a subject for which notice has not been given as required by the subchapter, the notice provisions of this subchapter, do not apply to:(1) a statement of specific factual information given in response to the inquiry; or (2) a recitation of existing policy in response to the inquiry. (b) Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting."



CITY OF KYLE, TEXAS

Sunset Hills Subdivision Revised Preliminary Plan

Meeting Date: 6/27/2017

Date time:6:30 PM

Subject/Recommendation: Sunset Hills Subdivision Revised Preliminary Plan.(PP-17-003) 52.990 acres; 210 single family lots and 5 open space lots located north of Bebee Road approximately 0.5 miles east of IH-35.

Staff Proposal to P&Z Approve the Revised Preliminary Plan

Other Information: See attachments

Legal Notes: N/A

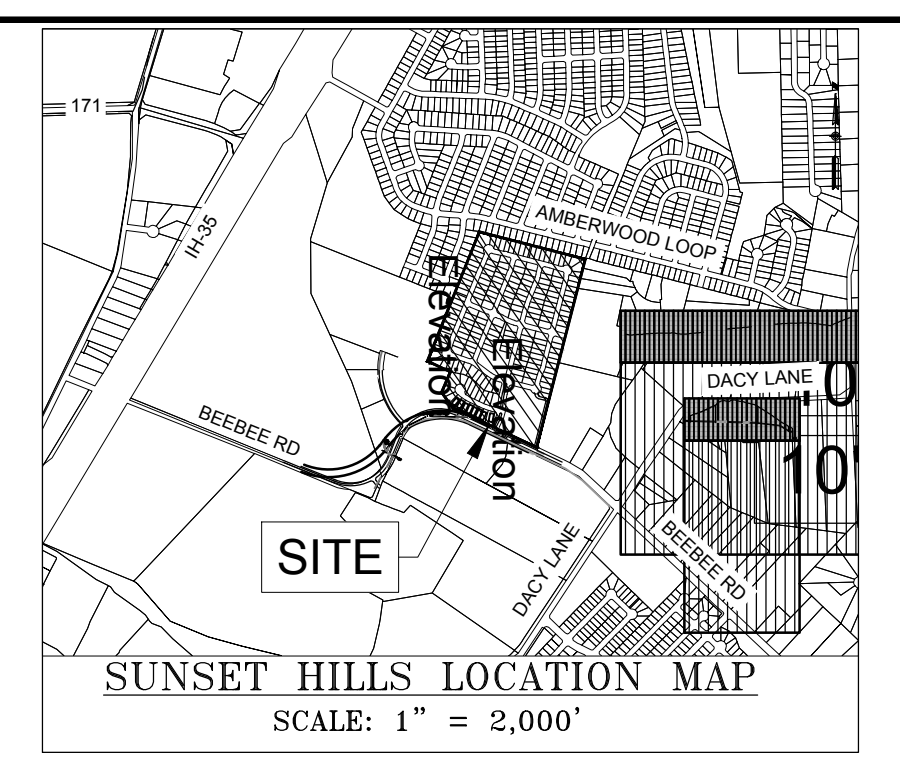
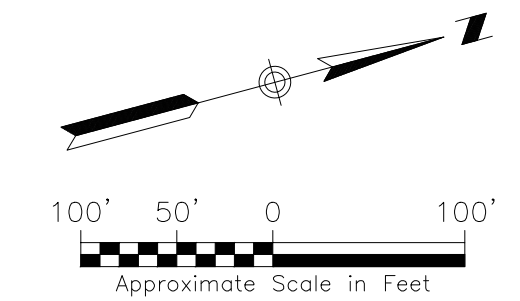
Budget Information: N/A

ATTACHMENTS:

Description

- Preliminary Plan
- Location Map

SUNSET HILLS PRELIMINARY PLAN



- R.O.W. TIE
- PROPOSED 5' CONCRETE SIDEWALK
- PROPOSED 10' R.O.W. DEDICATION
- LEFT TURN LANE TO BE CONSTRUCTED WITH PHASE 1
- (E) 30" RCP TO EXIST. OFF-SITE DRAINAGE
- PROPOSED 10' R.O.W. DEDICATION

RECOMMENDED AS ADMINISTRATIVELY COMPLETE:

CITY ENGINEER _____

DATE _____

DIRECTOR OF PUBLIC WORKS _____

DATE _____

PLANNING AND ZONING CHAIR PERSON _____

DATE _____

- NOTES
- A FIFTEEN (15) FOOT PUE IS HEREBY DEDICATED ADJACENT TO ALL STREET ROW. A FIVE (5) FOOT PUE IS HEREBY DEDICATED ALONG EACH SIDE LOT LINE AND A TEN (10) FOOT PUE IS HEREBY DEDICATED ADJACENT TO ALL REAR LOT LINES ON ALL LOTS.
 - SETBACKS NOT SHOWN ON LOTS SHALL CONFORM TO THE CITY OF KYLE ZONING ORDINANCE.
 - ACCESS FROM LOTS 3 THROUGH 10 OF BLOCK A ADJACENT TO BEEBEE ROAD IS NOT ALLOWED.
 - ACCESS FROM LOTS 3, 22 BLOCK A, AND LOT 1 OF BLOCK C ADJACENT TO STREET 1 IS NOT ALLOWED.
 - DRAINAGE EASEMENTS MUST NOT CONTAIN OBSTRUCTIONS.
 - THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. WHERE THERE ARE DOUBLE FRONTAGE LOTS, SIDEWALKS ON THE STREET TO WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE SUBDIVISION ARE CONSTRUCTED.
 - PAD LIMITS SHOWN REFLECT THE AVAILABLE ALLOWED SPACE, NOT NECESSARILY THE ACTUAL PAD SIZE THAT WILL BE USED.

SITE SUMMARY

TOTAL AREA	52.99 ACRES
SINGLE FAMILY AREA	35.25 ACRES
R.O.W. AREA	10.71 ACRES
PARK/OPEN SPACE AREA	1.92 ACRES
OPEN/PLAY/DETENTION AREA	4.47 ACRES
SINGLE FAMILY LOTS	210
TOTAL SPACE LOTS	214

RESIDENTIAL SETBACKS (R-1-3 ZONING)

20'/25' - FRONT BUILDING SETBACKS STAGGER

5' SIDE YARD SETBACK

15' STREET SIDE YARD SETBACK

10' REAR YARD SETBACK

PHASING PLAN

PHASE 1	
SINGLE FAMILY LOTS	124
PHASE 2	
SINGLE FAMILY LOTS	86

UTILITY PROVIDERS

CITY OF KYLE, MONARCH WATER COMPANY.

FLOODPLAIN INFORMATION

NO PORTION OF THIS SUBDIVISION IS WITHIN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FIRM MAP 48209C029F DATED SEPTEMBER 2, 2005.

LEGAL DESCRIPTION

BEING ALL THAT CERTAIN TRACT OR PARCEL OF LAND OUT OF AND A PART OF THE ELISHA PRUETT SURVEY NUMBER 23, ABSTRACT NUMBER 376 AND THE THOMAS G. ALLEN SURVEY, ABSTRACT NUMBER 26, SITUATED IN HAYS COUNTY, TEXAS, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS BEING ALL OF THAT CERTAIN CALLED 52.990 ACRE TRACT OF LAND CONVEYED TO THE MEADOWS AT KYLE II, LTD. IN VOLUME 2984, PAGE 804, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

BENCHMARK NOTE

ELEVATIONS HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) UTILIZING WESTERN DATA SYSTEMS CONTINUALLY OPERATING REFERENCE STATION (CORS) NETWORK.

TBM 101: 1/2 INCH IRON ROD WITH RED CAP SET +/- 30 FEET NORTH OF NORTH PAVEMENT EDGE OF COUNTY ROAD 122 +/- 210 FEET WEST OF THE MOST SOUTHERLY SOUTHWEST CORNER OF 52.990 ACRE TRACT. ELEVATION = 722.25'

TBM 102: 1/2 INCH IRON ROD WITH RED CAP SET +/- 5 FEET NORTH OF NORTH PAVEMENT EDGE OF COUNTY ROAD 122 +/- 200 FEET EAST OF THE MOST SOUTHERLY SOUTHWEST CORNER OF 52.990 ACRE TRACT. ELEVATION = 718.48'

WATERSHED STATUS

PLUM CREEK WATERSHED.

TOPOGRAPHIC INFORMATION

TOPOGRAPHIC INFORMATION OUTSIDE SUNSET HILLS BOUNDARY: 5' TNRIIS BUDA QUAD CONTOUR GIS DATA DATED 2012.

TOPOGRAPHIC INFORMATION WITHIN SUNSET HILLS BOUNDARY: 1' SURVEYED DATA PROVIDED BY BURY, INC. DATED 1/30/2015.

Owners: THE MEADOWS AT KYLE II LTD
 Address: 6212 HARWIN LANE
 AUSTIN, TEXAS 78745-3796
 Phone: (505) 988-3281 Fax: (505) 982-8987

Acres: 52.990 ACRES
 Survey: 52.990 ACRES OUT OF THE ELISHA PRUETT SURVEY NO. 23 ABSTRACT NO. 376 THOMAS G. ALLEN SURVEY, ABSTRACT NO. 26, HAYS COUNTY, TEXAS.

Number of lots and proposed use (if more than one use is planned for the lots, provide land use summary showing # of lots are planned for each use): 210 SINGLE FAMILY, 3 PARK/OPEN SPACE, 1 OPEN/PLAY/DET, 1 LIFT STATION, 1 EMERGENCY ACCESS

Date: 03/24/2017
 Surveyor: CAMERON BRIGANCE & DOERING, INC. Phone: (512) 280-5160 Fax: (512) 280-5165
 Engineer: MURFEE ENGINEERING COMPANY, INC. Phone: (512) 327-8224 Fax: (512) 327-2947

LOT WIDTH TABLE

LOT WIDTH TABLE	PERCENT
TOTAL RESIDENTIAL LOTS	210 100%
LOTS 55' OR GREATER WIDTH	124 59%
LOTS LESS THAN 55' WIDTH	86 41%

NOTE: UP TO 25% OF R-1-3 LOTS MAY BE LESS THAN 5,540 SQ.FT., BUT NOT LESS THAN 4,740 SQ.FT., AND UP TO 25% OF THE LOTS MAY BE LESS THAN 50 FEET IN WIDTH BUT NOT LESS THAN 45 FEET IN WIDTH, AND THE MINIMUM STREET LINE WIDTH SITUATED ON A CUL-DE-SAC SHALL BE A MINIMUM OF 35'.

CITY PROJECT NUMBER: _____

1101 Capital of Texas Highway South, Building D, Suite 110, Austin, Texas 78746, (512) 327-9204	JOB NO. 17.004.10	SCALE: AS NOTED	SHEET: 1 - OF - 5
MEC	DESIGNED BY: JKB	DATE: 3/15/2017	
Murfee Engineering Company Texas Registered Engineering Firm F-353	DRAWN BY: RLW	DATE: 5/22/2017	
	FILE(LAYOUT): O:\17\00410\CADD\DWG\PRELIM PLAN.dwg(01-PLM)		

Item # 1

TRI PARTY DEVELOPMENT AGREEMENT FOR THE MEADOWS AT KYLE & SUNSET HILLS SUBDIVISIONS

STATE OF TEXAS
 COUNTY OF HAYS
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____ DAY OF _____, 201__ BY _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HAS ACKNOWLEDGED TO ME THAT FOREGOING INSTRUMENT WAS EXECUTED FOR THE PURPOSES THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.
 GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF _____, 201_ A.D.

 NOTARY PUBLIC MY COMMISSION EXPIRES
 IN AND FOR THE STATE OF TEXAS.

ENGINEER'S CERTIFICATION:

I, GEORGE W. MURFEE, P.E., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF CITY OF KYLE SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

 GEORGE W. MURFEE, P.E.
 TEXAS REGISTRATION NO. 39166
 1101 SOUTH CAPITAL OF TEXAS HIGHWAY, BUILDING D, SUITE 110
 AUSTIN, TEXAS 78746

SURVEYOR'S CERTIFICATION:

I, AARON V. THOMASON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF LAND SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE CITY OF KYLE SUBDIVISION ORDINANCE, AND WAS PREPARED FROM AN ACTUAL ON THE GROUND SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION.

 AARON V. THOMASON, R.P.L.S.
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6214
 CARLSON, BRIGANCE AND DOERING, INC.
 5501 WEST WILLIAM CANNON
 AUSTIN, TEXAS 78749

1. VARIANCES AND/OR CLARIFICATIONS: THE CITY WILL RECOGNIZE DEVELOPMENT RIGHTS PURSUANT TO CHAPTER 212.172, LDC. GOV'T CODE, AND INTENDS TO ZONE THE PROPERTY WITH THE FOLLOWING VARIANCES/OR MAKE THE FOLLOWING CLARIFICATIONS TO PROMOTE DEVELOPMENT IN THE CITY AND WHICH ARE CONSISTENT WITH OTHER APPROVED DEVELOPMENTS.

ZONING: R-1-3
 THE MINIMUM SQUARE FOOT SIZE FOR GARAGES SHALL NOT BE LESS THAN 380 SF.
 THE GARAGES NEED NOT BE SET BACK FROM THE FRONT WALL OF THE HOUSE, BUT THE MINIMUM SET BACK DISTANCES FOR THE FRONT WALLS OF THE HOUSE MUST BE ALTERNATING/STAGGERED TWENTY FOOT (20') AND TWENTY FIVE FOOT (25') SET-BACKS.
 THE MINIMUM SQUARE FOOT SIZE FOR EACH RESIDENCE SHALL BE INCREASED 1,400 SF.

BUILDING COVERAGE: LIMITATION SHALL BE AS SET FORTH IN CHART 2 OF THE CITY ZONING ORDINANCE, SECTION 53.33 (1).

2. PARKLAND NOTES: THE MEADOWS AT KYLE II HAS, FOR THE BENEFIT OF THE DEVELOPER, AND AT NO COST OF EXPENSE TO THE CITY, CONVEYED/DEDICATED TO THE CITY APPROXIMATELY ±13.22 ACRES OF REAL PROPERTY (THE "PARKLAND") WITHIN SUNSET HILLS UNDER SUNSET HILLS PARK PLAT DOC.#BOD06013 VOL. 3344, PG. 687

3. DEVELOPER SHALL DESIGN AND CONSTRUCT, AT DEVELOPER'S SOLE COST AND EXPENSE, A LEFT-TURN LANE INTO THE SUBDIVISION AT THE MAIN ENTRANCE.

4. PLAT APPROVALS SHOULD CONTAIN THE FOLLOWING DEDICATIONS:

SUNSET HILLS SUBDIVISION PRELIMINARY PLAT WILL CONTAIN A FINAL PLAT, AS A SEPARATE LOT, OF THE PARKLAND WHICH WILL BE PLATTED BY THE CITY OF KYLE.
 SUNSET HILLS FINAL PLAT WILL CONTAIN A 10 FT. R.O.W. DEDICATION FOR THE EXPANSION OF BEBEE ROAD.

5. UPON COMPLETION OF THE SUBDIVISION, THE RESPECTIVE STREETS, EASEMENTS, DETENTION AND DRAINAGE FACILITIES, AND RIGHTS-OF-WAY SHOWN ON THE FINAL PLAT SHALL BE DEDICATED TO THE CITY.

6. THE FEE SIMPLE TITLE TO ANY ENTRY FEATURES, INTERNAL PARKS, TRAIL SYSTEMS, AND OTHER COMMON AREAS SHALL BE CONVEYED BY THE DEVELOPER TO THE APPROPRIATE MANDATORY, DUES-PAYING HOME OWNER'S ASSOCIATION ("HOA"). TRAIL SYSTEMS WILL HAVE PUBLIC ACCESS.

7. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING, WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION PONDS AND RIGHT OF WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND /OR PROPERTY OWNERS ASSOCIATIONS.

GENERAL NOTES

- THE MEADOWS AT KYLE II LTD HAS FURNISHED COPIES OF THIS PROPOSED PRELIMINARY PLAN TO ALL APPROPRIATE UTILITY COMPANIES AS REQUIRED UNDER SUBDIVISION ORDINANCE NO. 439, ARTICLE IV, SECTION 2. (D)(M).
- THE DESIGN OF THE PROPOSED WASTEWATER SYSTEM ELEMENTS SHALL BE SUBJECT TO REGULATION BY THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY (TCEQ) AND SHALL BE CERTIFIED BY A DESIGN ENGINEER THAT THE SYSTEM COMPLIES WITH ALL REGULATIONS OF TCEQ.
- THE WATER AND WASTEWATER SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED ACCORDING TO TCEQ STANDARDS.
- SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.
- WASTEWATER SERVICE TO SUNSET HILLS WILL INVOLVE THE DESIGN, CONSTRUCTION, AND THEN DEDICATION/CONVEYANCE THEREOF TO THE CITY (AT DEVELOPER'S SOLE COST AND EXPENSE), A GRAVITY WASTEWATER SYSTEM, INCLUDING ACQUISITION OF ANY EASEMENTS TO CONNECT TO THE CITY WASTEWATER LINE, PROVIDED HOWEVER, THAT, IF REQUESTED BY THE DEVELOPER, THE CITY WILL UTILIZE ITS CONDEMNATION POWERS TO ACQUIRE THOSE EASEMENTS, THE COSTS OF WHICH WILL BE BORNE SOLELY BY THE DEVELOPER.
- MONARCH WATER IS TO PROVIDE WATER SERVICE TO SUNSET HILLS, IN SUFFICIENT CAPACITIES TO SERVICE THE SUBDIVISION AS REQUIRED IN CITY ORDINANCES. WATER SERVICE WILL BE OPERATIONAL AS AGREED WITH THE RESPECTIVE SUPPLIERS IDENTIFIED ABOVE.
- THE DEVELOPER SHALL BUILD AND MAINTAIN A BARRIER AT THE FAR EASTERN END OF CERISE WAY BETWEEN BLOCK B, LOT 14 AND BLOCK C, LOT 67, PREVENTING AND PROHIBITING ACCESS ONTO PRIVATE PROPERTY.
- POST-CONSTRUCTION STORMWATER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF THE COUNTY IN WHICH THE PROPERTY IS LOCATED. THE OWNER OR OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPED SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE. OPERATION AND MAINTENANCE PERFORMED SHALL BE DOCUMENTED AND RETAINED ON SITE, SUCH AS AT THE OFFICES OF THE OWNER OR OPERATOR, AND MADE AVAILABLE FOR REVIEW BY THE CITY.

FIELD NOTES

BEING ALL THAT CERTAIN TRACT OR PARCEL OF LAND OUT OF AND A PART OF THE ELISHA PRUETT SURVEY NUMBER 23, ABSTRACT NUMBER 376 AND THE THOMAS G. ALLEN SURVEY, ABSTRACT NUMBER 26, SITUATED IN HAYS COUNTY, TEXAS, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS BEING ALL OF THAT CERTAIN CALLED 52.990 ACRE TRACT OF LAND CONVEYED TO THE MEADOWS AT KYLE II, LTD. IN VOLUME 2984, PAGE 804, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.TX.), SAID 52.990 ACRE TRACT OF LAND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, at a capped iron rod found at northeastern corner of said 52.990 acre tract, also being the northwestern corner of Lot 4, Sunflower Acres, a subdivision recorded in Volume 4, Page 18, Plat Records of Hays County, Texas (P.R.H.C.TX.) and also being in the southern line of Lot 37, Block B, Amberwood Phase 3, a subdivision recorded in Volume 11, Pages 147-149 (P.R.H.C.TX.), for the northeastern corner and **POINT OF BEGINNING** of the herein described tract,

THENCE, with the common boundary line of said 52.990 acre tract, said Lot 4, Sunflower Acres, Lots 2 and 3 of said Sunflower Acres, the west line of that certain called 12.52 acre tract of land conveyed to Guadalupe and Belen Villegas in Volume 3159, Page 463 (O.P.R.H.C.TX.) and that certain called 13.22 acre tract of land conveyed to The City of Kyle in Volume 3344, Page 684 (O.P.R.H.C.TX.), S14°32'00"W, a distance of 2035.11 feet to a capped iron rod found at the southeastern corner of said 52.990 acre tract, also being the southwestern corner of said 13.22 acre tract and also being in the northern right-of-way line of County Road 122 (A.K.A. Bebee Road) (R.O.W. varies), for the southeastern corner of the herein described tract,

THENCE, with the common line of said 52.990 acre tract and the northern right-of-way line of said County Road 122, the following two (2) courses and distances, numbered 1 and 2,

- N64°43'18"W, a distance of 890.36 feet to a capped iron rod found marked "RUST" at the beginning of a curve to the left, and,
- With said curve to the left having a radius of 498.37 feet, an arc length of 69.63 feet, and whose chord bears N68°42'05"W, a distance of 69.57 feet to a 1/2" iron rod found at the southernmost southwestern corner of said 52.990 acre tract and also being a southeastern corner of that certain called 2.49 acre tract of land conveyed to GTP Towers V, LP in Volume 3581, Page 839 (O.P.R.H.C.TX.), for the southernmost southwestern corner of the herein described tract,


THENCE, with the common boundary line of said 52.990 acre tract and said 2.49 acre tract, the following four (4) courses and distances, numbered 1 thru 4,

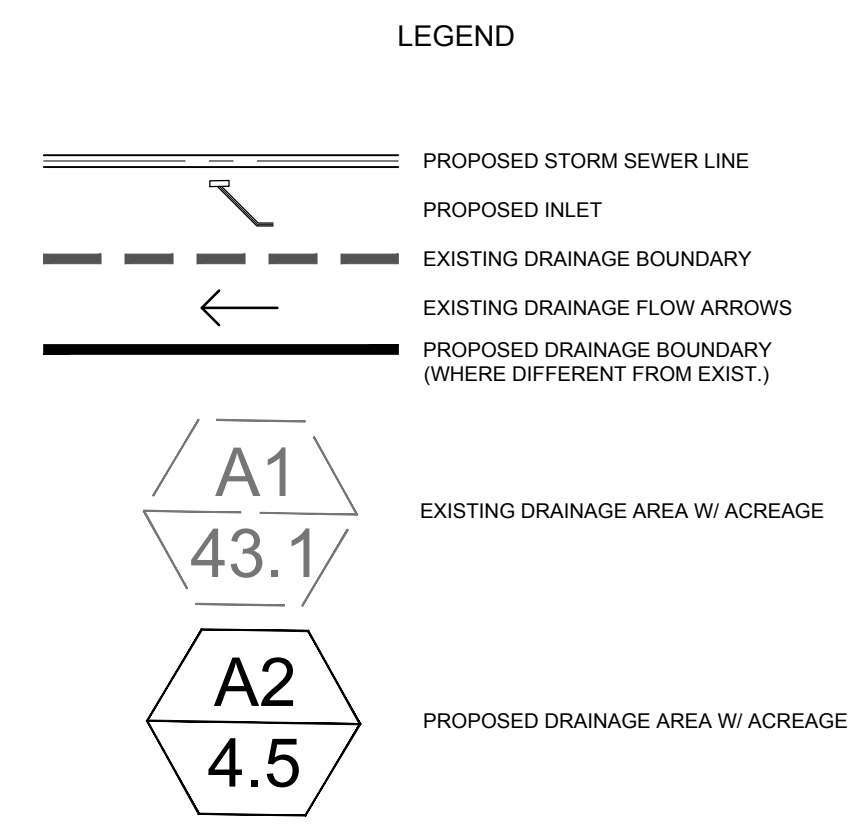
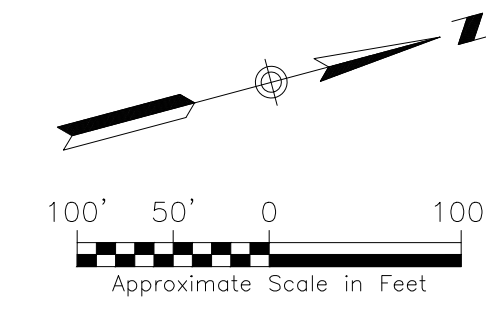
- N22°01'04"E, a distance of 10.09 feet to a 1/2" iron rod found,
- N34°57'29"W, a distance of 208.25 feet to a 1/2" iron rod found,
- N23°11'38"E, a distance of 230.14 feet to a 1/2" iron rod found, and
- N64°47'02"W, a distance of 265.26 feet to a 1/2" iron rod found at the westernmost southwestern corner of said 52.990 acre tract, also being the northwestern corner of said 2.49 acre tract and also being in the eastern line of that certain called 25.98 acre tract of land conveyed to Kyle Business Park, LP in Volume 2835, Page 819 (O.P.R.H.C.TX.), for the westernmost southwestern corner of the herein described tract,

THENCE, with the common boundary line of said 52.990 acre tract, said 25.98 acre tract and Amberwood Phase 1, a subdivision recorded in Volume 10, Page 352 (P.R.H.C.TX.), N21°56'09"E, a distance of 1451.85 feet to a calculated point at the northwestern corner of said 52.990 acre tract, also being the northeastern corner of Lot 17, Block B of said Amberwood Phase 1, also being the southwestern corner of Lot 19, Block B of said Amberwood Phase 3 and also being the southwestern corner of Lot 20, Block B of said Amberwood Phase 3, for the northern eastern corner of the herein described tract,

THENCE, with the common boundary line of said 52.990 acre tract and said Amberwood Phase 3, S75°25'36"E, a distance of 1139.81 feet to the **POINT OF BEGINNING** and containing 52.990 acres of land.

CITY PROJECT NUMBER:

1101 Capital of Texas Highway South, Building D, Suite 110, Austin, Texas 78746, (512) 327-9204	JOB NO. 17.004.10	SCALE: AS NOTED	SHEET: 2 - OF - 5
	DESIGNED BY: JB	DATE: 3/15/2017	
	DRAWN BY: RLW	DATE: 5/22/2017	
Murfee Engineering Company	Texas Registered Engineering Firm F-353	FILE[LAYOUT]: O:\17\00410\CAD\DWG\PRELIM PLAN.dwg(02-PLM)	



TIME OF CONCENTRATION
 Reference: Urban Hydrology for Small Watersheds, TR55, USDA-SCS, June 1986
 Note: SCF-U = Shallow concentrated flow - unpaved, SCF-P = paved.

Dmg Area	Elev1	Elev2	L (ft)	S (ft/ft)	Flow Type	n	Vel (fps)	t(c)	
A1-exist	747	744	100	0.030	Sheet	0.20	-	10.1	
	744	702	1970	0.021	SCF-U	-	2.4	13.9	
	-	-	0	-	SS	-	8	0.0	
	-	-	0	-	Stream	-	6	0.0	
								Total (min):	24.1
								t (lag)	14.4

A1-dev	741	739	50	0.040	Sheet	0.30	-	7.2	
	739	738	62	0.016	SCF-U	-	2.0	0.5	
	738	732.5	240	0.023	SCF-P	-	3.1	1.3	
	-	-	1802	-	SS	-	8	3.8	
-	-	0	-	Stream	-	6	0.0		
								Total (min):	12.7
								t (lag)	7.6

A2-exist	747	743	100	0.040	Sheet	0.20	-	9.0	
	743	706.5	1110	0.033	SCF-U	-	2.9	6.3	
	-	-	0	-	SS	-	8	0.0	
	-	-	0	-	Stream	-	6	0.0	
								Total (min):	15.3
								t (lag)	9.2

A2-dev	731.5	729.6	20	0.095	Sheet	0.30	-	2.4	
	729.6	728.5	110	0.010	SCF-U	-	1.6	1.1	
	-	-	0	-	SS	-	8	0.0	
	-	-	0	-	Stream	-	6	0.0	
								Total (min):	5.0
								t (lag)	3.0

13,220 ACRES
 THE CITY OF KYLE, TEXAS
 VOLUME 3344, PAGE 684

12.52 ACRES
 GUADALUPE AND VILLEGAS
 VOLUME 3159, PAGE 463

DETENTION PONDS - PRELIMINARY SIZING PER TR-55, SECTION 6

$V_s = V_r [C_0 + C_1(q_0/q_i) + C_2(q_0/q_i)^2 + C_3(q_0/q_i)^3]$
 V_s = Storage volume re'qd for given frequency storm (ac-ft)
 V_r = runoff volume for developed conditions and given frequency storm (ac-ft)
 $C_0, C_1 - C_3$ = SCS coefficients that vary for Type I, II, and III storms (Table 5-4)
 q_0 = pre-developed peak flow rate for given frequency storm
 q_i = developed peak flow rate for given frequency storm

Rain Dist.	C ₀	C ₁	C ₂	C ₃
I,IIA	0.660	-1.760	1.960	-0.730
II,III	0.682	-1.430	1.640	-0.804

AREA A1 - HEC-HMS INPUT DATA

Existing		Proposed	
Area =	43.1 ac	48.2 ac	
t(lag)	14.4 min	7.6 min	
CN	80 *100% D	80 *95% C	
Prop. Imperv.	-	34.2%	

AREA A2 - HEC-HMS INPUT DATA

Existing		Proposed	
Area =	9.1 ac	4.5 ac	
t(lag)	0.0142 sq mi	0.0070 sq mi	
CN	78 *40% C	76 *70% C	
Prop. Imperv.	-	60% D	35.2%

AREA A1 - HEC-HMS OUTPUT DATA

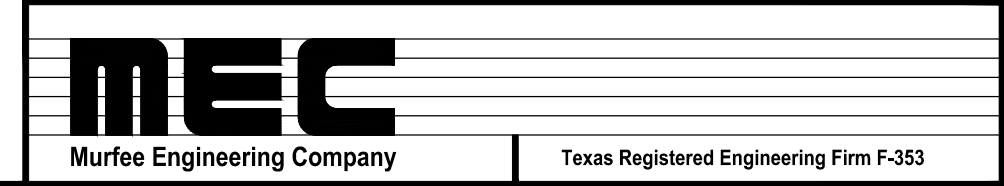
Area	FREQUENCY			
	2	10	25	100
10-exist Q	51.0	126.0	171	246
Vol (ac-ft)	5.70	13.9	19.0	27.7
10-prop Q	92	194	255	356
Vol (ac-ft)	8.9	18.6	24.5	34.4

AREA A2 - HEC-HMS OUTPUT DATA

Area	FREQUENCY			
	2	10	25	100
20-exist Q	12.0	30	41	59
Vol (ac-ft)	1.10	2.8	3.8	5.7
20-prop Q	9	20	26	37
Vol (ac-ft)	0.8	1.6	2.2	3.1

AREA	FREQ	Rain Dist.	V _r	q ₀	q _i	V _s (ac-ft)	V _s (cf)
A1	2	III	8.9	51.0	92	2.3	99,361
	10	III	18.6	126	194	4.2	182,108
	25	III	24.5	171	255	5.3	232,758
	100	III	34.4	246	356	7.3	317,171

PRELIMINARY DRAWING FOR PLANNING PURPOSES ONLY



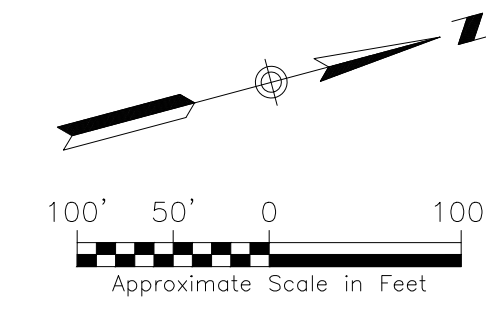
SUNSET HILLS
 BEBEE ROAD (COUNTY ROAD 122)
 CONCEPTUAL STORM SEWER LAYOUT - PRELIMINARY PLAN

1101 Capital of Texas Highway South, Building D, Suite 110, Austin, Texas 78746, (512) 327-9204

JOB NO.	17-004.10	SCALE:	AS NOTED	SHEET:	3 OF 5
DESIGNED BY:	JB	DATE:	3/15/2017		
DRAWN BY:	RLW	DATE:	5/22/2017		

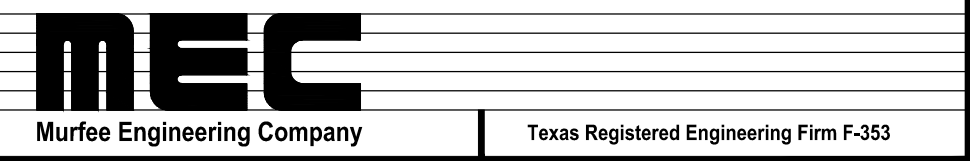
FILE[LAYOUT]: O:\17\004\10\CAD\DWG\PRELIM PLAN.dwg(03-STM)

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JAMES F. SCAIFE, P.E. #54777 ON 5/22/17. IT IS NOT TO BE USED FOR CONSTRUCTION, OR BIDDING PURPOSES.



UTILITY LEGEND	
	EXISTING TELEPHONE
	EXISTING WATER LINE
	EXISTING WASTEWATER LINE
	EXISTING STORM SEWER LINE
	EXISTING WASTEWATER (MANHOLES)
	EXISTING WATER (MANHOLE)
	EXISTING AIR RELEASE VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	PROPOSED WATER METER
	EXISTING STORM (MANHOLES)
	EXISTING GRATE INLETS
	EXISTING LIGHT POLES
	PROPOSED FIRE LINE
	PROPOSED WATER LINE
	PROPOSED WASTEWATER LINE
	PROPOSED UNDERGROUND TELEPHONE AND ELECTRIC LINES
	PROPOSED STORM SEWER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED GRATE INLET SEE GRADING PLAN C-2
	EXISTING FIRE HYDRANT
	PROPOSED BFP VAULT
	PROPOSED DOMESTIC METER

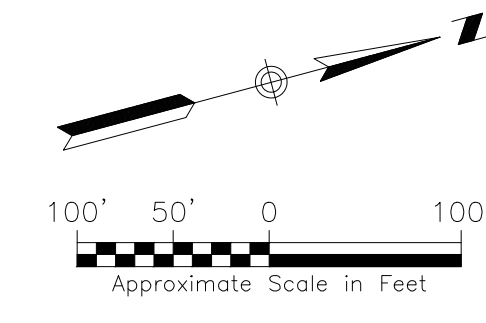
PRELIMINARY DRAWING
FOR PLANNING PURPOSES ONLY



SUNSET HILLS			
BEBEE ROAD (COUNTY ROAD 122)			
WASTEWATER COLLECTION - PRELIMINARY PLAN			
1101 Capital of Texas Highway South, Building D, Suite 110, Austin, Texas 78746, (512) 327-9204			
JOB NO. 17-004.10	SCALE: AS NOTED	SHEET: 4 OF 5	
DESIGNED BY: JB	DATE: 3/15/2017		
DRAWN BY: RLW	DATE: 5/22/2017		
FILE[LAYOUT]: O:\17\00410\CAD\DWG\PRELIM PLAN.dwg(04-WW)			

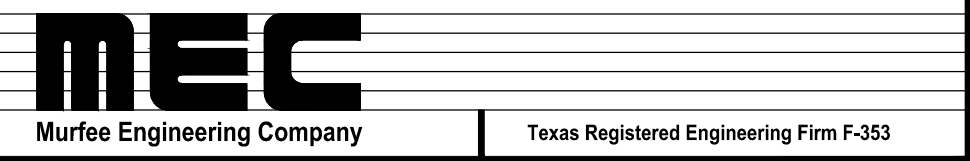
- NOTES
- ALL WASTEWATER PIPE SHALL BE PVC, SDR 26, ASTM D3034.
 - ALL MANHOLES SHALL BE INTERNALLY COATED TO CITY OF AUSTIN SPECIFICATIONS.
 - ALL CITY OF KYLE MANHOLES SHALL DISPLAY CITY OF KYLE LOGO.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF TRICIA S. TICHENOR ALTAMIRANO, P.E. #62688 ON 5/22/17. IT IS NOT TO BE USED FOR CONSTRUCTION, OR BIDDING PURPOSES.



UTILITY LEGEND	
	EXISTING TELEPHONE
	12" W ——— EXISTING WATER LINE
	8" WW ——— EXISTING WASTEWATER LINE
	EXISTING STORM SEWER LINE
	EXISTING WASTEWATER (MANHOLES)
	EXISTING WATER (MANHOLE)
	EXISTING AIR RELEASE VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	PROPOSED WATER METER
	EXISTING STORM (MANHOLES)
	EXISTING GRATE INLETS
	EXISTING LIGHT POLES
	PROPOSED FIRE LINE
	PROPOSED WATER LINE
	PROPOSED WASTEWATER LINE
	PROPOSED UNDERGROUND TELEPHONE AND ELECTRIC LINES
	PROPOSED STORM SEWER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED GRATE INLET SEE GRADING PLAN C-2
	EXISTING FIRE HYDRANT
	PROPOSED BFP VAULT
	PROPOSED DOMESTIC METER

**PRELIMINARY DRAWING
FOR PLANNING PURPOSES ONLY**



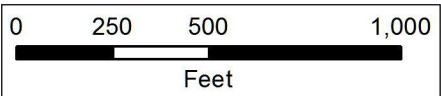
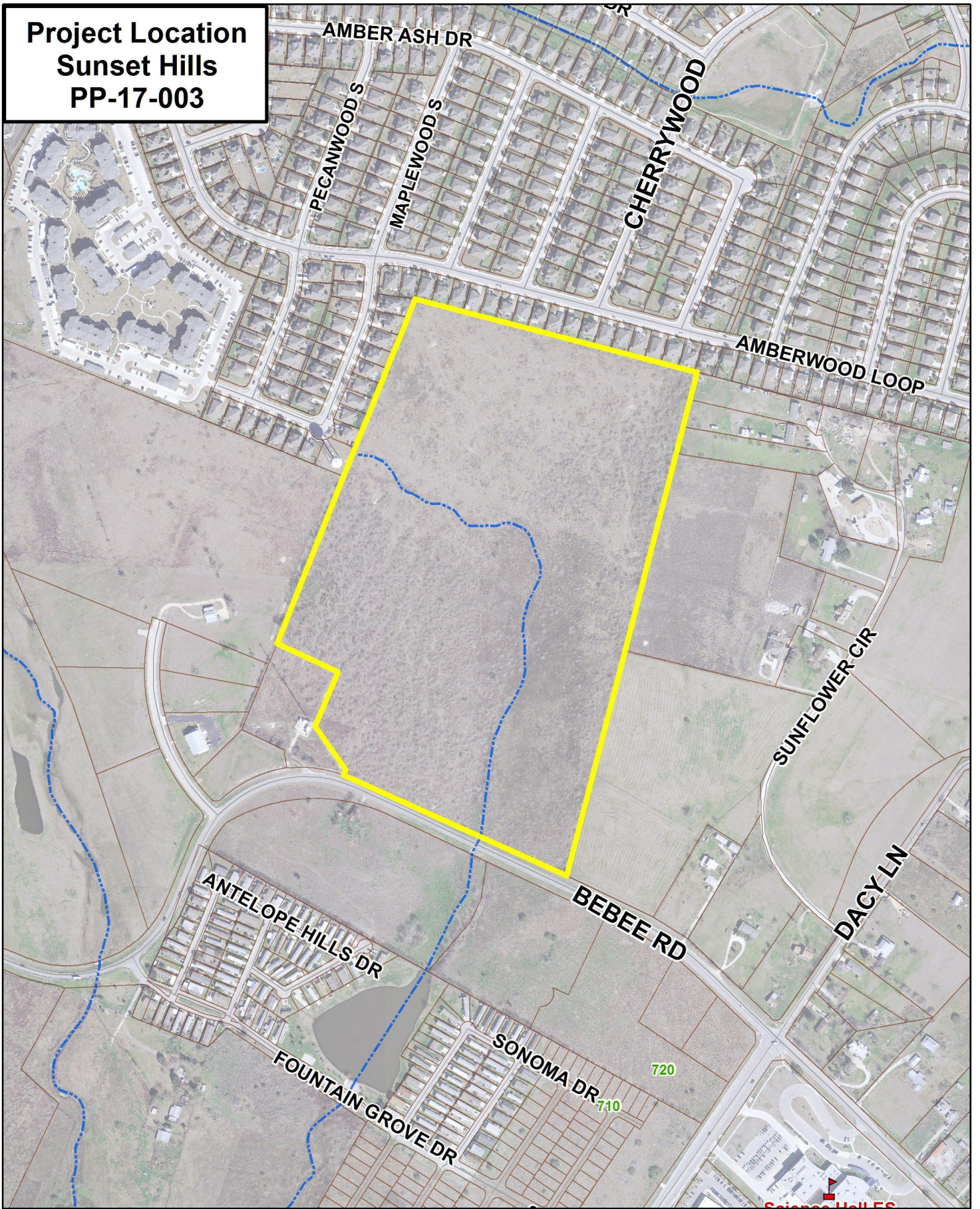
**SUNSET HILLS
BEBEE ROAD (COUNTY ROAD 122)
WATER DISTRIBUTION - PRELIMINARY PLAN**

1101 Capital of Texas Highway South, Building D, Suite 110, Austin, Texas 78746, (512) 327-9204			
JOB NO.	17-004.10	SCALE:	AS NOTED
DESIGNED BY:	JB	DATE:	3/15/2017
DRAWN BY:	RLW	DATE:	5/22/2017
FILE[LAYOUT]: O:17\00410\CAD\DWG\PRELIM PLAN.dwg(05-WTR)			

NOTES
1. ALL WATERLINE PIPE SHALL BE C-900 PVC OR APPROVED EQUAL.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF TRIGIA S. TICHENOR ALTAMIRANO, P.E. #63668 ON 5/22/17. IT IS NOT TO BE USED FOR CONSTRUCTION, OR BIDDING PURPOSES.

**Project Location
Sunset Hills
PP-17-003**



 Property Boundary

 Parcel Lines



CITY OF KYLE, TEXAS

Stagecoach Subdivision - Preliminary Plan

Meeting Date: 6/27/2017

Date time:6:30 PM

Subject/Recommendation: Stagecoach Subdivision - Preliminary Plan (PP-17-002) 272 single family lots, 8 LSE, SWE & PUE lots, 3 Water Quality Esmt & D.E. lots, 1 park lot and 1 mail kiosk lot located east of Old Stagecoach Road and west of Scott Street.

Staff Proposal to P&Z: Approve the Preliminary Plan

Other Information: See attachment.

Legal Notes: N/A

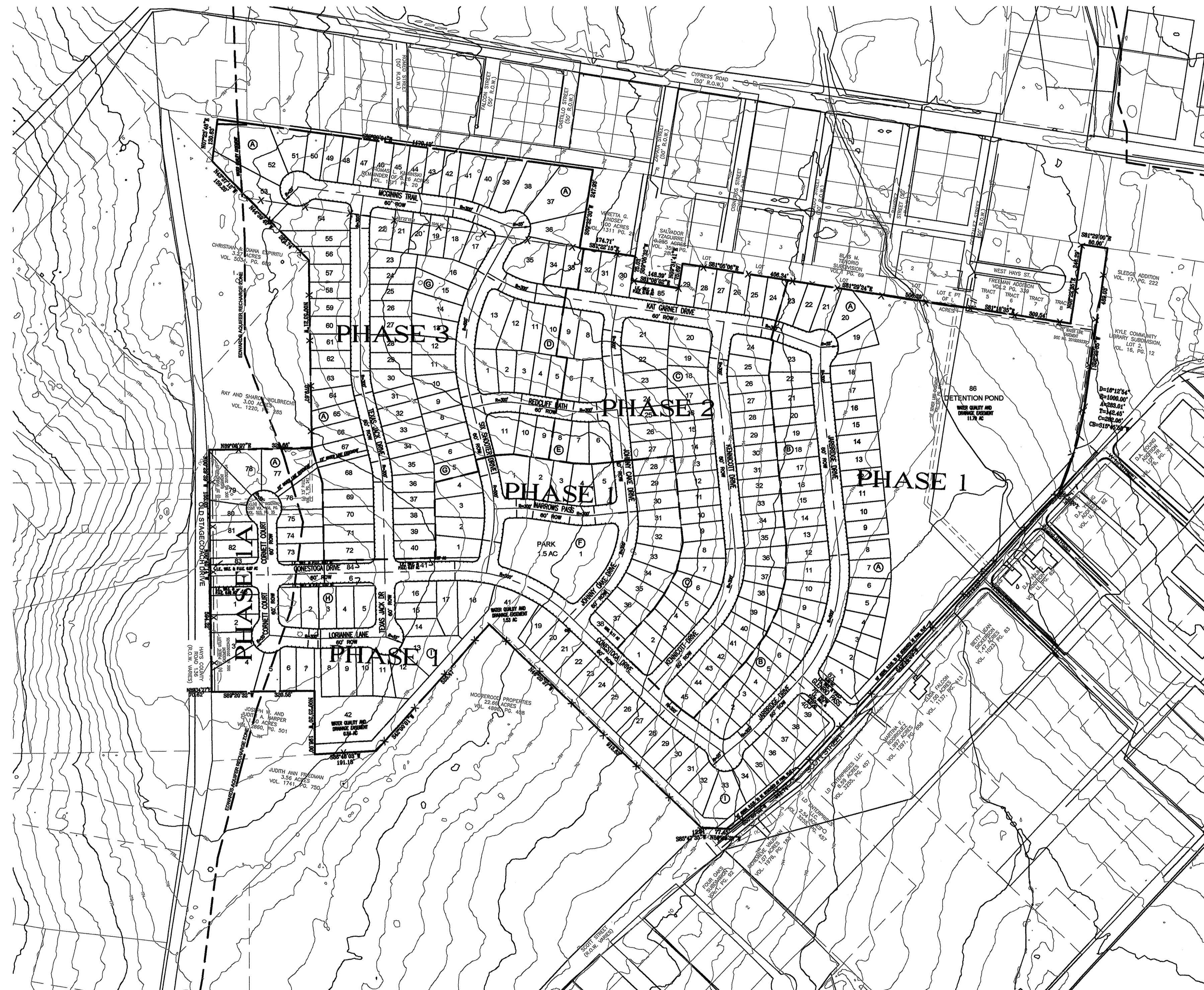
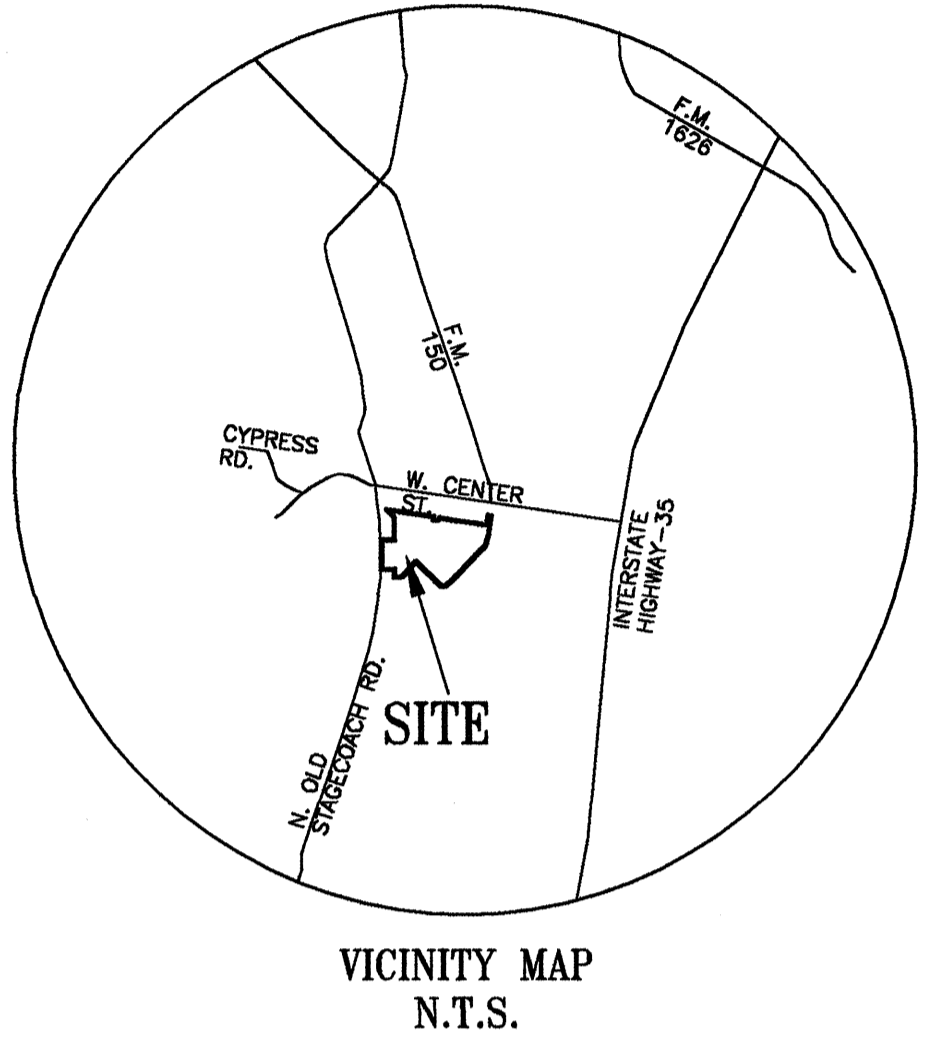
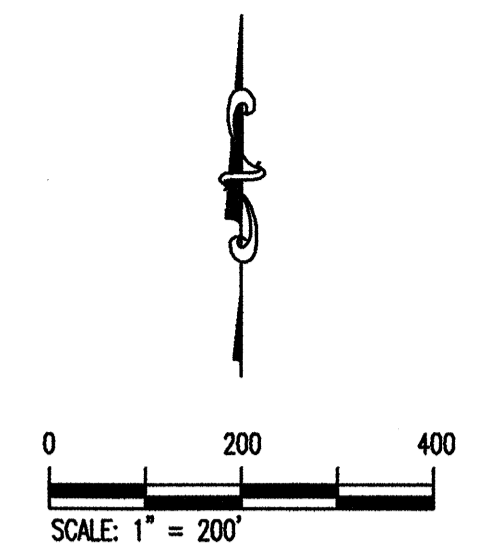
Budget Information: N/A

ATTACHMENTS:

Description

- Preliminary Plan
- Location Map

A PRELIMINARY PLAT OF THE STAGECOACH SUBDIVISION BEING 85.160 ACRES OF LAND, OUT OF THE JOHN PHARASS SURVEY ABSTRACT 361 AND Z. HINTON SURVEY ABSTRACT 220, HAYS COUNTY, TEXAS



LEGEND

□	CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON ROD FOUND
○	IRON ROD SET
—	W.L. ESMT. WATER LINE EASEMENT
—	WW ESMT. WASTEWATER EASEMENT
—	P.U.E. PUBLIC UTILITY EASEMENT
—	L.E. LANDSCAPE EASEMENT
—	D.E. DRAINAGE EASEMENT
—	D.A.E. DRAINAGE ACCESS EASEMENT
—	A.E. ACCESS EASEMENT
—	S.W.E. SIDEWALK EASEMENT
17	LOT NUMBER
Ⓐ	BLOCK NUMBER
---	EASEMENT LINE
---	SIDEWALK LOCATION
---	CREEK CENTERLINE

SHEET INDEX

1	OVERALL PRELIMINARY PLAT (200 SCALE)
2	GENERAL NOTES
3	PRELIMINARY PLAT (100 SCALE)

LEGAL DESCRIPTION:

BEING ALL THAT CERTAIN TRACT OR PARCEL OF LAND OUT OF AND A PART OF THE JOHN PHARASS SURVEY NUMBER 13, ABSTRACT NUMBER 361, AND THE Z. HINTON SURVEY 12, ABSTRACT NUMBER 220, SITUATED IN HAYS COUNTY, TEXAS, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS BEING ALL OF THAT CERTAIN CALLED 74.487 ACRE TRACT OF LAND, CONVEYED TO THE BLANTON FAMILY LIMITED PARTNERSHIP IN VOLUME 2728, PAGE 242, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, (O.P.R.-H.C.T.X.), AND ALL OF THAT CERTAIN CALLED 4.393 ACRE TRACT OF LAND CONVEYED TO THE BLANTON FAMILY LIMITED PARTNERSHIP IN VOLUME 2844, PAGE 836 (O.P.R.-H.C.T.X.), AND BEING ALL OF THE REMAINDER OF A CALLED 8.26 ACRE TRACT OF LAND CONVEYED TO THOMAS L. KAMINSKI IN VOLUME 1311, PAGE 20 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS (O.P.R.-H.C.T.X.), SAID AND EXCEPT 1.00 ACRE TRACT OF LAND CONVEYED THOMAS LINDSEY IN VOLUME 1311, PAGE 20 (O.P.R.-H.C.T.X.), SAID 85.160 ACRES (5,709,552 SQUARE FEET) TRACT OF LAND

TOTAL ACREAGE: 85.160 ACRES
 SURVEY: JOHN PHARASS SURVEY 12 ABSTRACT NO. 361
 AND Z. HINTON SURVEY 13 ABSTRACT NO. 220
 HAYS COUNTY, TEXAS

TOTAL NUMBER OF LOTS: 285
 TOTAL NUMBER OF SINGLE FAMILY LOTS: 272
 TOTAL NUMBER OF LSE, SWE & PUE LOTS: 8
 TOTAL NUMBER OF WATER QUALITY ESMT. & D.E. LOTS: 3
 TOTAL NUMBER OF PARK LOTS: 1
 TOTAL NUMBER OF MAIL KIOSK LOTS: 1
 TOTAL NUMBER OF BLOCKS: 9

LOTS 83-87 BLOCK "A"; LOT 38 BLOCK "C"; LOT 1 BLOCK "F";
 LOT 41 BLOCK "G"; LOT 6 BLOCK "H"; LOTS 40-42 BLOCK "I"
 ARE RESTRICTED TO NON-RESIDENTIAL USES, ARE TO BE OWNED
 AND MAINTAINED BY THE HOME OWNERS ASSOCIATION OR HIS
 ASSIGNS.

SEE SHEET 2 FOR ADJOINER'S PROPERTY OWNERS
 INFORMATION

- NOTES:**
1. A FIFTEEN (15) FOOT PUBLIC UTILITY EASEMENT (PUE) IS HEREBY DEDICATED ADJACENT TO ALL STREET ROW, A FIVE (5) FOOT PUBLIC UTILITY EASEMENT (PUE) IS HEREBY DEDICATED ALONG EACH SIDE LOT LINE AND A SEVEN AND TEN (10) FOOT PUBLIC UTILITY EASEMENT (PUE) IS HEREBY DEDICATED ADJACENT TO ALL REAR LOT LINES ON ALL LOTS.
 2. SETBACKS NOT SHOWN ON LOTS SHALL CONFORM TO THE CITY OF KYLE ZONING ORDINANCE.
 3. THIS SUBDIVISION IS WITHIN THE HAYS COUNTY SCHOOL DISTRICT.
 4. TOPOGRAPHY USED IS LIDAR TOPOGRAPHY BASED ON USGS DATUM NAD 83-SOUTH CENTRAL ZONE US FOOT.
 5. SIDEWALKS SHALL BE INSTALLED ON BOTH SIDES OF ALL STREETS IN THIS SUBDIVISION. THOSE SIDEWALKS NOT ABUTTING A RESIDENTIAL OR COMMERCIAL LOT SHALL BE INSTALLED WHEN THE ADJOINING STREET IS CONSTRUCTED. WHERE THERE ARE DOUBLE FRONTAGE LOTS, SIDEWALKS ON THE STREET WHICH ACCESS IS PROHIBITED ARE ALSO REQUIRED TO BE INSTALLED WHEN THE STREETS IN THE SUBDIVISION ARE CONSTRUCTED.
 6. PROPOSED WATER AND WASTEWATER WILL CONNECT TO THE CITY OF KYLE SERVICE SYSTEMS.
 7. OBSTRUCTION OF DRAINAGE EASEMENTS IS PROHIBITED.

OWNERS: THE BLANTON FAMILY
 LIMITED PARTNERSHIP
 ATTN: PERRY BLANTON
 323 WAUFORD WAY
 NEW BRAUNFELS, TEXAS 78132
 PHONE #: (512) XXX-XXXX

THOMAS L. KAMINSKI
 507 CANYON WREN DRIVE
 BUDA, TEXAS 78610
 PHONE #:

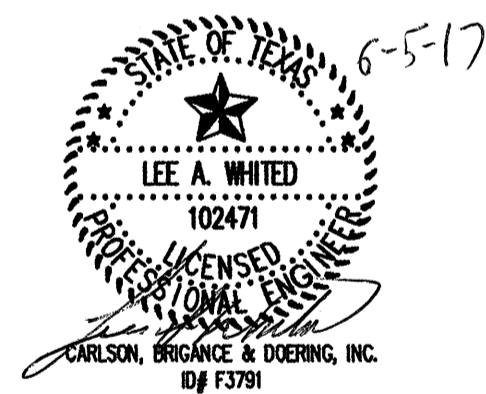
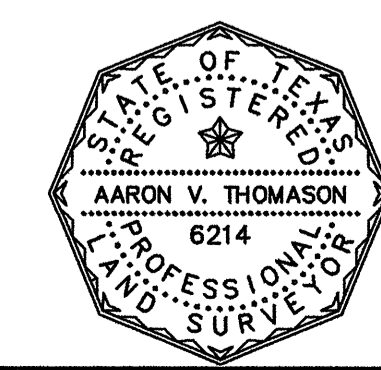
ENGINEER/SURVEYOR: CARLSON,
 BRIGANCE & DOERING, INC.
 5501 WEST WILLIAM CANNON DR.
 AUSTIN, TEXAS 78749
 PHONE #: (512) 280-5160
 FAX #: (512) 280-5165

BENCH MARKS:

80231	2320361.5330'	13907814.1000'	771.237'	CP	CIRS
80230	2320459.1080'	13907664.1200'	767.953'	CP	MAG NL
80000	2320336.6830'	13907544.1500'	769.591'	CP	MAG NLS

I, AARON V. THOMASON, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT ALL EASEMENTS OF RECORD ARE SHOWN OR NOTED ON THESE PLANS.
 TO CERTIFY WHICH, I WITNESS MY HAND AND SEAL AT AUSTIN, TRAVIS COUNTY, TEXAS, THIS 22nd DAY OF JULY, 2017.

SURVEYED BY:
 AARON V. THOMASON, R.P.L.S. NO. 6214
 CARLSON, BRIGANCE AND DOERING, INC.
 5501 WEST WILLIAM CANNON
 AUSTIN, TX 78749
 PH: 512-280-5160 FAX: 512-280-5165
 AARON@CBDENG.COM <MAIL TO: AARON@CBDENG.COM>



FLOOD PLAIN NOTE
 NO PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 48209C0385F, HAYS COUNTY, TEXAS, DATED SEPTEMBER 2, 2005.

ENGINEERS CERTIFICATION
 THIS IS TO CERTIFY THAT I AM CERTIFIED TO PRACTICE THE PROFESSION OF ENGINEERING IN THE STATE OF TEXAS, THAT I PREPARED THE PLANS SUBMITTED HERewith, AND THAT ALL INFORMATION SHOWN HEREON IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AS RELATED TO THE ENGINEERING PORTIONS THEREOF, AND THAT SAID PLANS COMPLY WITH THE CITY OF KYLE CODES AND ORDINANCES AND HAYS COUNTY.
 WITNESS MY HAND THIS 5th DAY OF JULY, 2017.

LEE A. WHITED P.E. NO. 102471

Owners: THE BLANTON FAMILY LIMITED PARTNERSHIP
 Address: PO BOX 401 KYLE, TEXAS 78640-0401
 Phone: (512) XXX-XXXX Fax: _____

Acres: 85.160 Ac
 Survey: JOHN PHARASS SURVEY ABSTRACT NO. 361 & Z. HINTON SURVEY ABSTRACT NO. 220
 Number of lots and proposed use (if more than one use is planned for the lots, provide land use summary showing # of lots are planned for each use): 272 - Residential Lots, 8 - LSE/SWE/PUE
 1 - Park Lot, 1 - Mail Kiosk Lot, 3 - WOE & D.E. Lots

Date: DECEMBER 29, 2016
 Surveyor: Carlson, Brigance & Doering, Inc.
 Phone: (512) 280-5160 Fax: (512) 280-5165
 Engineer: Carlson, Brigance & Doering, Inc.
 Phone: (512) 280-5160 Fax: (512) 280-5165

PRELIMINARY PLAN - 200 SCALE

DATE: JANUARY 2017

DESIGNED BY: J.S.L.

DRAFTED BY: L.A.W.

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION

JOB NUMBER: 4826

SHEET: 1 OF 3

PROJECT: STAGECOACH SUBDIVISION

STREET, DRAINAGE, WATER &

A PRELIMINARY PLAT OF THE STAGECOACH SUBDIVISION BEING 85.160 ACRES OF LAND, OUT OF THE JOHN PHARASS SURVEY ABSTRACT 361 AND Z. HINTON SURVEY ABSTRACT 220, HAYS COUNTY, TEXAS

GENERAL NOTES:

1. ALL STREETS IN THE SUBDIVISION WILL BE CONSTRUCTED USING CITY OF KYLE STANDARDS AND WILL BE DEDICATED AS PUBLIC R.O.W. AT FINAL PLATTING.
2. WATERSHED STATUS - THIS PROJECT IS LOCATED IN THE PLUM CREEK WATERSHED. THE SITE IS PARTIALLY OVER THE EDWARDS AQUIFER RECHARGE ZONE.
3. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO THE CITY OF KYLE WATER AND WASTEWATER SYSTEM.
4. THE WATER AND WASTEWATER UTILITY SYSTEM SERVING THIS SUBDIVISION MUST BE IN ACCORDANCE WITH THE CITY OF KYLE CODE OF ORDINANCES. THE WATER AND WASTEWATER UTILITY PLAN MUST BE REVIEWED AND APPROVED BY THE KYLE WATER UTILITY. THE UTILITY CONSTRUCTION MUST BE INSPECTED BY THE CITY OF KYLE.
5. PRIOR TO CONSTRUCTION ON ANY LOT IN THIS SUBDIVISION, DRAINAGE PLANS WILL BE SUBMITTED TO THE CITY OF KYLE FOR REVIEW. RAINFALL RUN-OFF SHALL BE HELD TO THE AMOUNT OF EXISTING CONDITIONS.
6. DRIVEWAY LOCATIONS SHALL CONFORM TO CITY OF KYLE CODE OF ORDINANCES.
7. EROSION/SEDIMENTATION CONTROLS ARE REQUIRED ON EACH LOT INCLUDING SINGLE FAMILY AND DUPLEX CONSTRUCTION.
8. PUBLIC SIDEWALKS, BUILT TO THE CITY OF KYLE STANDARDS, ARE REQUIRED ALONG BOTH SIDES OF ALL STREETS INCLUDING: MCGINNIS TRAIL, LORIANNE LANE, NARROWS PASS, GLENRIO PASS, JARBRIDGE DRIVE, CORNETT COURT, REDCLIFF PATH, TEXAS JACK DRIVE, SIX SHOOTER DRIVE, JOHNNY CAKE DRIVE, CONESTOGA DRIVE, KENNICOTT DRIVE, AND KAT GARNET DRIVE; AS SHOWN BY A DOTTED LINE ON THE FACE OF THE PLAT. THESE SIDEWALKS ARE REQUIRED TO BE IN PLACE PRIOR TO THE LOTS BEING OCCUPIED. FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
9. THE CITY OF KYLE HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS TO THE EXTENT NECESSARY TO KEEP THE EASEMENTS CLEAR.
10. THE OWNER/DEVELOPER OF THIS SUBDIVISION SHALL PROVIDE THE ELECTRIC COMPANY THAT SHALL SERVICE THIS SUBDIVISION WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH THE CITY OF KYLE CODE OF ORDINANCES.
11. THE OWNER SHALL BE RESPONSIBLE FOR ANY INSTALLATION OF TEMPORARY EROSION CONTROL, VEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT.
12. NO BUILDINGS, FENCES, LANDSCAPING OR OTHER OBSTRUCTIONS ARE PERMITTED IN DRAINAGE EASEMENTS EXCEPT AS APPROVED BY THE CITY OF KYLE.
13. PARKLAND REQUIREMENTS WILL BE SATISFIED PRIOR TO FINAL PLAT APPROVAL.
14. ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR ASSIGNS.
15. PRIOR TO THE RECORDING OF ANY FINAL PLAT OF ALL OR A PORTION OF THIS PRELIMINARY PLAN, FISCAL SURETY SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF KYLE CODE OF ORDINANCES FOR THE FOLLOWING SUBDIVISION IMPROVEMENTS:
 - A. STREET CONSTRUCTION AND RELATED INFRASTRUCTURE, INCLUDING PAVING, SIDEWALK, WATER SUPPLY AND WASTEWATER COLLECTION FOR THE FOLLOWING PUBLIC STREETS:

MCGINNIS TRAIL
LORIANNE LANE
NARROWS PASS
GLENRIO PASS
JARBRIDGE DRIVE
CORNETT COURT
REDCLIFF PATH
TEXAS JACK DRIVE
SIX SHOOTER DRIVE
JOHNNY CAKE DRIVE
CONESTOGA DRIVE
KENNICOTT DRIVE
KAT GARNET DRIVE
 - B. ENVIRONMENTAL AND SAFETY CONTROLS, AND OTHER RELATED: TERMS (E.G. EROSION AND SEDIMENTATION CONTROLS, RESTORATION, CHANNEL WORK, PIPE IN EASEMENTS, DETENTION, WATER QUALITY POND, ETC.) AS DETERMINED PRIOR TO FINAL PLAT APPROVAL. THE RESTORATION COST ESTIMATE WILL BE BASED ON DISTURBED AREAS INCLUDING THE FOLLOWING PUBLIC STREETS:

MCGINNIS TRAIL
LORIANNE LANE
NARROWS PASS
GLENRIO PASS
JARBRIDGE DRIVE
CORNETT COURT
REDCLIFF PATH
TEXAS JACK DRIVE
SIX SHOOTER DRIVE
JOHNNY CAKE DRIVE
CONESTOGA DRIVE
KENNICOTT DRIVE
KAT GARNET DRIVE
16. THIS SUBDIVISION IS IN THE CITY LIMITS OF KYLE, TEXAS.
17. PROPERTY OWNER SHALL PROVIDE FOR ACCESS TO THE DRAINAGE EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS BY GOVERNMENTAL AUTHORITIES.

18. THE OWNER/DEVELOPER IS ADVISED TO OBTAIN APPROVAL FOR ANY NEEDED LICENSE AGREEMENTS PRIOR TO APPROVAL OF THE CONSTRUCTION PLANS. OTHER SPECIAL OR NONSTANDARD TREATMENTS OF THE R.O.W. MAY ALSO REQUIRE A LICENSE AGREEMENT.

19. APPROVAL OF THIS PRELIMINARY PLAT DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATION FROM THE CITY OF KYLE'S CODE OF ORDINANCES IN THE FINAL PLAT, CONSTRUCTION PLAN OR SITE PLAN STAGE, UNLESS SUCH DEVIATIONS HAVE BEEN SPECIFICALLY REQUESTED IN WRITING AND SUBSEQUENTLY APPROVED IN WRITING BY THE CITY. SUCH APPROVALS DO NOT RELIEVE THE ENGINEER OF THE OBLIGATION TO MODIFY THE DESIGN OF THE PROJECT IF IT DOES NOT MEET ALL OTHER CITY OF KYLE'S REGULATIONS OR IF IT IS SUBSEQUENTLY DETERMINED THAT THE DESIGN WOULD ADVERSELY IMPACT THE PUBLIC'S SAFETY, HEALTH, WELFARE OR PROPERTY.

20. THE UTILITY PROVIDERS FOR THE SUBDIVISION ARE AS FOLLOWS:

WATER & WASTEWATER - CITY OF KYLE
ELECTRIC - PEDERNALES ELECTRIC COOPERATIVE
GAS - CENTER POINT ENERGY

21. LOTS 69-70 & 73 BLOCK "A"; LOT 41 BLOCK "B"; LOT 33 BLOCK "C"; LOT 1 BLOCK "F" LOT 36 BLOCK "G"; LOT 6 BLOCK "H"; LOTS 34-36 BLOCK "I" ARE RESTRICTED TO NON-RESIDENTIAL USES, ARE TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION OR HIS ASSIGNS. ARE TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION OR HIS ASSIGNS.

STREET STANDARDS CHART			
STREET NAME	R.O.W. WIDTH	PAVEMENT WIDTH	CL LENGTH (LF)
MCGINNIS TRAIL	60'	32' F-F	710 LF
LORIANNE LANE	60'	32' F-F	364 LF
NARROWS PASS	60'	32' F-F	418 LF
GLENRIO PASS	60'	32' F-F	191 LF
JARBRIDGE DRIVE	60'	32' F-F	1387 LF
CORNETT COURT	60'	32' F-F	403 LF
REDCLIFF PATH	60'	32' F-F	454 LF
TEXAS JACK DRIVE	60'	32' F-F	1375 LF
SIX SHOOTER DRIVE	60'	32' F-F	1114 LF
JOHNNY CAKE DRIVE	60'	32' F-F	1032 LF
CONESTOGA DRIVE	60'	32' F-F	1801 LF
KENNICOTT DRIVE	60'	32' F-F	1243 LF
KAT GARNET DRIVE	60'	32' F-F	1069 LF

22. TOTAL LINEAR FOOTAGE OF STREETS: 11,561 LF

23. THE PRELIMINARY PLAT IS COMPLETE, ACCURATE AND IN COMPLIANCE WITH THE CITY OF KYLE'S CODE OF ORDINANCES.

24. THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF KYLE. THE OWNER UNDERSTANDS AND ACKNOWLEDGES THAT PLAT VACATION OR RE-PLATTING MAY BE REQUIRED, AT THE OWNER'S SOLE EXPENSE, IF PLANS TO CONSTRUCT THIS SUBDIVISION DO NOT COMPLY WITH SUCH CODES AND REQUIREMENTS.

25. THE LANDOWNER SHALL BE RESPONSIBLE FOR PROVIDING THE SUBDIVISION INFRASTRUCTURE, INCLUDING WATER AND WASTEWATER UTILITY IMPROVEMENTS, OFFSITE MAIN EXTENSION AND SYSTEM UPGRADES.

26. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND SIMILAR LINES SHALL BE UNDERGROUND.

27. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING, WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION PONDS AND RIGHT OF WAYS TO THE PAVEMENT SHALL BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY OWNERS ASSOCIATIONS.

28. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.

29. PUBLIC ROADWAY CONNECTIONS CONNECTING STAGECOACH DRIVE WITH SCOTT STREET WILL BE PROVIDED WITH PHASE 1 OF THE DEVELOPMENT.

30. TYPICAL LANDSCAPE MAINTENANCE, CUTTING AND TRIMMING, WITHIN THE SUBDIVISION, ALL EASEMENTS, DETENTION PONDS AND RIGHT OF WAYS TO THE PAVEMENT TO BE THE RESPONSIBILITY OF PROPERTY OWNERS AND/OR PROPERTY AND/OR HOME OWNERS ASSOCIATIONS.

31. POST-CONSTRUCTION STORM WASTER CONTROL MEASURES SHALL HAVE A MAINTENANCE PLAN. THE MAINTENANCE PLAN MUST BE FILED IN THE REAL PROPERTY RECORDS OF HAYS COUNTY. THE OWNER OR OPERATOR OF ANY NEW DEVELOPMENT OR REDEVELOPMENT SITE SHALL DEVELOP AND IMPLEMENT A MAINTENANCE PLAN ADDRESSING MAINTENANCE REQUIREMENTS FOR ANY STRUCTURAL CONTROL MEASURES INSTALLED ON SITE, SUCH AS AT THE OFFICES OF THE OWNER OR OPERATOR, AND MADE AVAILABLE FOR REVIEW BY THE CITY.

32. SIDEWALKS, PEDESTRIAN CROSSINGS AND OTHER PUBLIC AMENITIES THAT ARE TO BE DEDICATED TO THE CITY OF KYLE SHALL MEET OR EXCEED ALL 2010 ADA STANDARDS OF ACCESSIBILITY DESIGN AND ALL CURRENT FEDERAL AND STATE LAWS REGARDING ACCESS FOR PEOPLE WITH DISABILITIES FOR TITLE II ENTITIES.

33. THIS PRELIMINARY PLAT IS ZONED R1-3. ALL RESIDENTIAL LOTS IN THIS SUBDIVISION SHALL COMPLY WITH THE LOT SIZE AND SETBACK MINIMUM REQUIREMENTS OF THE R1-3 ZONING CATEGORY.

34. A COMPACTED FLEXIBLE BASE PAVEMENT SHALL BE PROVIDED PRIOR TO CONSTRUCTION OF COMBUSTIBLE MATERIALS AS AN ALL-WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING FIRE APPARATUS TOTAL LIVE LOAD OF 80,000 POUNDS.

FLOOD PLAIN NOTE:

NO PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP # 48209C0385F, HAYS COUNTY, TEXAS DATED SEPTEMBER 2, 2005.

ADJOINING OWNER'S INFORMATION TABLE

ADJOINING OWNER'S	Parcel ID	SITE #	PREFIX	SITE STREET	SITE RD	SITE CITY	SITE STATE	SITE ZIP	MAILING ADDRESS	LINE 2	APT/STE	CITY	STATE	ZIP
FRIEDMAN, JUDITH ANN	R14710	805		OLD STAGECOACH	RD	KYLE	TX	78640	1191 ELLIOTT RANCH RD			BUDA	TX	78610-9995
BLANTON FAMILY LIMITED PARTNERSHIP	R14814			SCOTT	ST	KYLE	TX	78640	323 WALFORD WAY			NEW BRAUNFELS	TX	78132
ROMERO ANDRES EST	R16987			OLD STAGECOACH	RD	KYLE	TX	78640	% MARY ORTUNO	P O BOX 667		AUSTIN	TX	78704-1653
MOORERODD PROPERTIES LLC	R14740	900		SCOTT	ST	KYLE	TX	78640	1093 SOUTH 2ND			AUSTIN	TX	78704-1653
MCMAULIN ROY & DIANA	R14727	624		OLD STAGECOACH	RD	KYLE	TX	78640	109 STAGELINE DR			KYLE	TX	78640-0077
RIZO CRUZ EST OF	R16984	608	S	OLD STAGECOACH	RD	KYLE	TX	78640	P O BOX 77			KYLE	TX	78640-0077
ROMERO CARLOS EST OF	R16988	100	S	STAGECOACH	RD	KYLE	TX	78640	% CASTILLO EUFEMIO & JULIA	P O BOX 984		KYLE	TX	78640-0984
ROMERO CARLOS EST OF	R16989	100	S	STAGECOACH	RD	KYLE	TX	78640	% CASTILLO EUFEMIO & JULIA	P O BOX 984		KYLE	TX	78640-0984
LINDSEY, VERETTA G	R16959	110		ZAPATA	ST	KYLE	TX	78640	P O BOX 401			KYLE	TX	78640-0401
ESPIRITU CHRISTIAN & DIANA	R16960			OLD STAGECOACH	RD	KYLE	TX	78640	1951 HUNTER RD	APT 16202		SAN MARCOS	TX	78666-5379
VARELA MANUEL & ISELA ROBLES	R16961			STAGECOACH	RD	KYLE	TX	78640	11602 SADDLE MOUNTAIN TRL			AUSTIN	TX	78739
ROMERO ANDREW	R16993	1706		CENTER	ST	KYLE	TX	78640	PO BOX 1481			KYLE	TX	78640-0945
HERNANDEZ, RUDOLPH	R45620	108		CASTILLO	ST	KYLE	TX	78640	P O BOX 863			KYLE	TX	78640-0863
RIZO, ARTURO	R78370	608	S	OLD STAGECOACH	RD	KYLE	TX	78640	P O BOX 40053			AUSTIN	TX	78704-0053
POWELL TROY D & EMMA	R135772	802	S	OLD STAGECOACH	RD	KYLE	TX	78640	802 S OLD STAGECOACH RD			KYLE	TX	78640-5642
MARTINEZ, CARLOS	R14721	801		OPAL	LN	KYLE	TX	78640	109 TORI DR			BUDA	TX	78610
PENA ROBERT & PENNA RENI MELENDEZ	R14725	1007		SCOTT	ST	KYLE	TX	78640	2309 WILLOW ST			AUSTIN	TX	78702
CLAUSS CARL & SHERI	R17008	1110		OLD STAGECOACH	RD	KYLE	TX	78640	1110 S OLD STAGECOACH RD			KYLE	TX	78640-9326
RODRIGUEZ, MARTINA F	R14630	513		SCOTT	ST	KYLE	TX	78640	513 SCOTT ST			KYLE	TX	78640
MOORERODD PROPERTIES LLC	R14647			OLD STAGECOACH	RD	KYLE	TX	78640	1033 SOUTH 2ND			AUSTIN	TX	78704-1553
SCHWARTZ, SALLY A	R14714	703		OPAL	LN	KYLE	TX	78640	P O BOX 764			KYLE	TX	78640-0764
BIDDLE, PATRICIA S	R14676	1305		SCOTT	ST	KYLE	TX	78640	1305 SCOTT ST			KYLE	TX	78640-9433
CALVIN, ERVIN BERNARD	R27929	900		HAYS	ST	KYLE	TX	78640	PO BOX 1378			KYLE	TX	78640-1378
FALCON, ELIDA	R14753	507		SCOTT	ST	KYLE	TX	78640	507 SCOTT ST			KYLE	TX	78640
OLD STAGECOACH ROAD LLC	R17021	1014		OLD STAGECOACH	RD	KYLE	TX	78640	1014 S OLD STAGECOACH RD			KYLE	TX	78640-5643
VILLASANA, YANET	R45628			GONZALES	ST	KYLE	TX	78640	200 GONZALES ST			KYLE	TX	78640
LD ENTERPRISES LLC	R70247			SCOTT	ST	KYLE	TX	78640	13105 LAKE VIEW DR			AUSTIN	TX	78732
CEDILLO RODOLFO & SANTOS G	R136892	808		FIRST	ST	KYLE	TX	78640	PO BOX 1742			KYLE	TX	78640-1742
PASSMORE DANNY R	R103494	801	W	FIRST	ST	KYLE	TX	78640	801 FIRST ST			KYLE	TX	78640
KYLE CITY OF	R134175	550		SCOTT	ST	KYLE	TX	78640	P O BOX 40			KYLE	TX	78640-0040
LYONS REX ALLEN JR	R142728		S	OLD STAGECOACH	RD	KYLE	TX	78640	1004 SOUTH OLD STAGECOACH RD			KYLE	TX	78640
SILLER JOSE E SR & LINDA C	R116701			OPAL	LN	KYLE	TX	78640	PO BOX 1186			KYLE	TX	78640-1186
WOLBRECHT, RAY & SHARON	R16947		S	OLD STAGECOACH	RD	KYLE	TX	78640	545 S OLD STAGECOACH RD			KYLE	TX	78640
HARPER, JOSEPH W & JUDITH A	R17001		S	OLD STAGECOACH	RD	KYLE	TX	78640	801 S OLD STAGECOACH RD			KYLE	TX	78640
YZAGUIRRE, S.M.	R45623			ZAPATA	ST	KYLE	TX	78640	200 ZAPATA ST			KYLE	TX	78640



FOR REVIEW:
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE
AUTHORITY OF LEE A. WHITED, P.E. #102471, ON THIS DATE 6-5-17.
IT IS NOT TO BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.

Carlson, Brigrance & Doering, Inc.
THRM ID #F3791
5901 West William Cannon
Austin, Texas 78749
Phone No. (512) 280-5160 Fax No. (512) 280-5165

PRELIMINARY PLAN - 200 SCALE
DATE: JANUARY 2017

DESIGNED BY: J.S.L.
L.A.W.

PROJECT: STAGECOACH SUBDIVISION
STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

JOB NAME: STAGECOACH SUBDIVISION
JOB NUMBER: 4826

SHEET: 2 OF 3

A PRELIMINARY PLAT OF THE
STAGECOACH SUBDIVISION
 BEING 85.160 ACRES OF LAND, OUT OF THE JOHN PHARASS SURVEY ABSTRACT 361
 AND Z. HINTON SURVEY ABSTRACT 220, HAYS COUNTY, TEXAS



LEGEND

□	CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON ROD FOUND
○	IRON ROD SET
WL ESMT.	WATER LINE EASEMENT
WW ESMT.	WASTEWATER EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.A.E.	DRAINAGE ACCESS EASEMENT
A.E.	ACCESS EASEMENT
S.W.E.	SIDEWALK EASEMENT
17	LOT NUMBER
(A)	BLOCK NUMBER
---	EASEMENT LINE
---	SIDEWALK LOCATION
---	CREEK CENTERLINE



PRELIMINARY PLAN - 100 SCALE

DATE: JANUARY 2017

DESIGNED BY: L.A.W.

DRAFTED BY: J.S.L.

SHEET: 3 OF 3

JOB NAME: STAGECOACH SUBDIVISION

PROJECT: STREET, DRAINAGE, WATER & WASTEWATER IMPROVEMENTS

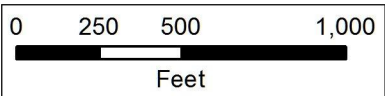
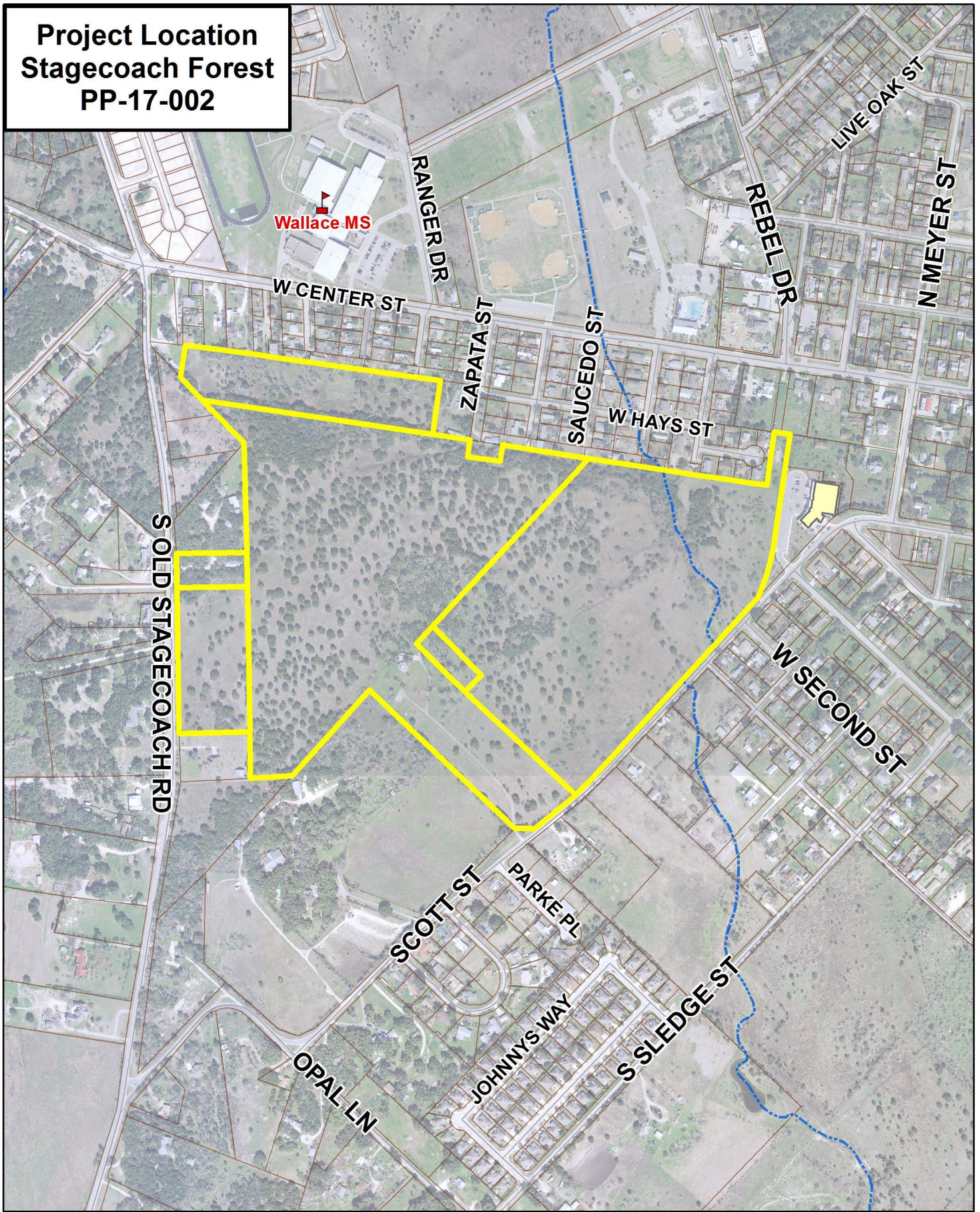
JOB NUMBER: 4826

SHEET: 3 OF 3

Carlson, Brigrance & Doering, Inc.
 FIRM ID #F3791
 Surveyors
 5501 West William Cannon
 Austin, Texas 78749
 Phone No. (512) 280-5160
 Fax No. (512) 280-5165

FILE PATH: \\mucor\004 Land Projects\826\p\preliminary Plan 85-95 LOTS.dwg, Jun 05, 2017, 9:18am

**Project Location
Stagecoach Forest
PP-17-002**



 Property Boundary

 Parcel Lines



CITY OF KYLE, TEXAS

Plum Creek Vue Apartments - Site Development Plan

Meeting Date: 6/27/2017

Date time:6:30 PM

Subject/Recommendation: Plum Creek Vue Apartments - Site Plan (SD-17-006) 7 acres; 1 lot located at 4624 Cromwell Drive.

Staff Proposal to P&Z: Approve the Site Plan

Other Information: See attachments.

Legal Notes: N/A

Budget Information: N/A

ATTACHMENTS:

Description

- Site and Landscape Plan
- Location Map



OVERALL SITE PLAN

**Plum Creek VUE
Apartments**
4624 CROMWELL DRIVE
KYLE, TEXAS 78640

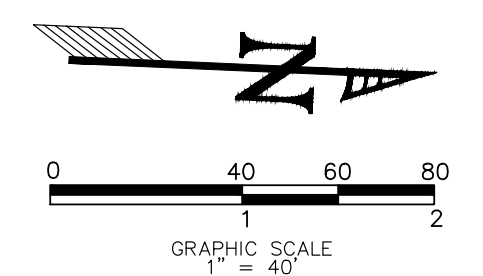
NO.	DESCRIPTION	DATE

Scale: _____
Design Team: **R.I./B.O.**

SHEET
5
OF **33**

NSEW Project No:
0310-0002

City Project No:
00000



EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY (R.O.W.) LINE
---	---	CURB & GUTTER
---	---	LIP OF GUTTER
---	---	"NO PARKING/FIRE LANE"
---	---	CONCRETE SIDEWALKS
---	---	FIRE HYDRANT
---	---	RETAINING WALL
---	---	SITE LIGHTING
---	---	SIGN
---	---	WHEEL STOP
---	---	RAMP
---	---	DUMPSTER
---	---	BIKE RACK
---	---	TREE TO BE SAVED
---	---	WATER LINE
---	---	FIRE HOSE
---	---	"FIRE LANE/TOW AWAY ZONE"
---	---	WATER VALVE
---	---	FIRE DEPARTMENT LOCATION
---	---	KNOX BOX LOCATION

BENCHMARK:

- LAI 8M100801-01: SQUARE CUT SET ON THE NORTHWEST CORNER OF A CONCRETE HEADWALL, ALONG THE EAST R.O.W. OF F.M. 1626, APPROXIMATELY 350 FEET NORTH OF THE INTERSECTION WITH DORMAN LANE. ELEVATION = 742.72 FEET
- BENCHMARK 080410-01: SQUARE SET AT NE CORNER OF STONE PLUM CREEK SIGN AT INTERSECTION OF THE SOUTH LINE OF KOHLERS AND THE WEST LINE OF KYLE PARKWAY. ELEVATION=776.53'
- BENCHMARK 100801-02: SQUARE SET ON NW CORNER OF CONCRETE CULVERT APRON. ELEVATION=741.71'
- BENCHMARK 080410-03: MAG-NAIL SET ON CONCRETE APRON AT INTERSECTION OF VAUGHN AND KYLE PARKWAY. ELEVATION=760.14'
- BENCHMARK 080410-04: SQUARE SET ON TOP OF CURB. ELEVATION=744.14'

LEGAL DESCRIPTION:

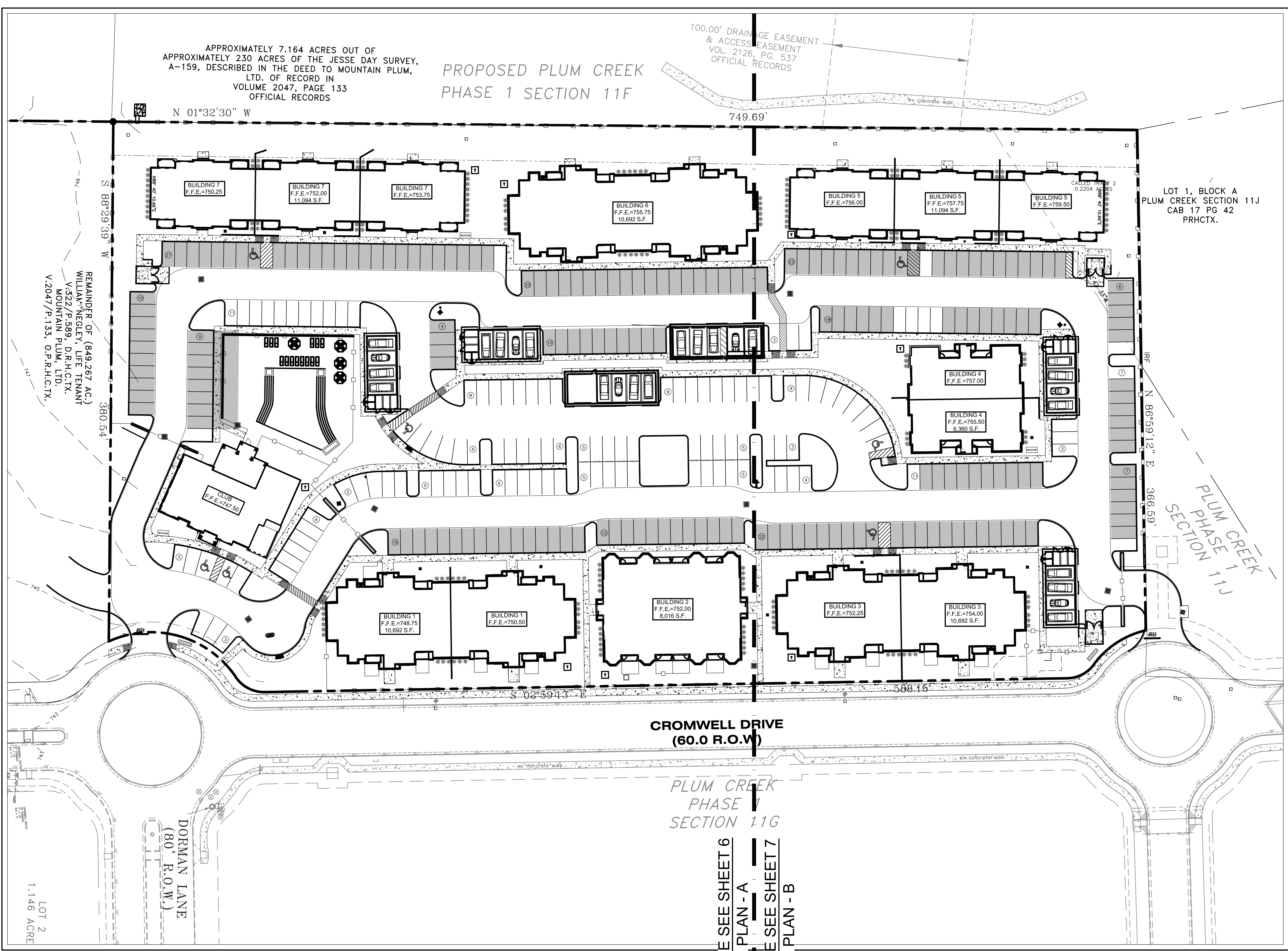
6.999 ACRE TRACT OF LAND IN THE JESSE DAY SURVEY, A-159, HAYS COUNTY, TEXAS.

Plum VUE Apartments, Kyle, Texas			
Existing Site Data Table			
Item	SF	AC	%
Total Site	304,924	7,000	100.00
Building Area	0	0.000	0.00
Sidewalk Area	0	0.000	0.00
Pavement/Drives	0	0.000	0.00
Total IC	0	0.000	0.00
Landscape	0	0.000	0.00
Proposed Site Data Table			
Item	SF	AC	%
Total Site	304,924	7,000	100.00
Building Area	73,800	1,694	24.20
Parking Garage	7,662	0.176	2.51
Sidewalk Area	18,112	0.418	5.94
Pavement/Drives	117,942	2,708	38.88
Total Impervious Cover	217,516	4,993	71.33
Allowable Imperv Cover	243,939	5,600	80.00
Landscape Area	87,408	2,007	28.67

PLUM CREEK VUE		
REQUIREMENTS	NUMBER OF UNITS	TOTAL SPACES REQUIRED
1.5 SPACES PER 1 BEDROOM UNIT	96	144 SPACES
2 SPACES PER 2 BEDROOM UNIT	72	144 SPACES
2.5 SPACES PER 3 BEDROOM UNIT	12	30 SPACES
5 SPACES PER 1000 SQ. FT. OF LEASING AREA	-	4 SPACES
TOTAL PARKING SPACES REQUIRED		322 SPACES
5% REDUCTION ALLOWED FOR PROVIDING COVERED AND SECURED BICYCLE PARKING RACKS.		306 SPACES
HANDICAP SPACES REQUIRED	8 SPACES	
PROVIDED		
OPEN PARKING SPACES	123 SPACES	
HANDICAPPED (VAN ACCESSIBLE)	4(2) SPACES	
GARAGES	25 SPACES	
HANDICAPPED	1 SPACE	
COVERED CARPORTS	190 SPACES	
HANDICAPPED (VAN ACCESSIBLE)	3(2) SPACES	
TOTAL PARKING SPACES PROVIDED	338 SPACES	
HANDICAPPED	8 SPACES	
AVERAGE SPACES PER UNIT PROVIDED	1.9 SPACES	

PROJECT SCOPE:
THIS PROJECT IS TO CREATE A RESIDENTIAL APARTMENTS COMPLEX WITH AN ASSOCIATED CLUB HOUSE, PARKING, UTILITIES, AND LANDSCAPING. STORM WATER FROM THIS PROJECT WILL BE ROUTED OFFSITE TO EXISTING WATER QUALITY AND DETENTION FACILITIES.

MATCHLINE SEE SHEET 6
SITE PLAN - A
MATCHLINE SEE SHEET 7
SITE PLAN - B



APPROXIMATELY 7.164 ACRES OUT OF APPROXIMATELY 230 ACRES OF THE JESSE DAY SURVEY, A-159, DESCRIBED IN THE DEED TO MOUNTAIN PLUM, LTD., OF RECORD IN VOLUME 2047, PAGE 133 OFFICIAL RECORDS

100.00' DRAINAGE EASEMENT & ACCESS EASEMENT VOL. 2126, PG. 537 OFFICIAL RECORDS

REMAINDER OF (849.267 AC.) WILLIAM NEGLEY, LIFE TENANT V.222/P.589, D.R.H.C.TX. MOUNTAIN PLUM, LTD. V.2047/P.133, O.P.R.H.C.TX.

NO.	DESCRIPTION	DATE

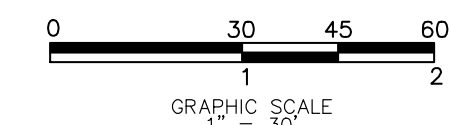
Scale:

Design Team: **R.I./B.O.**

SHEET
6
OF **33**

NSEW Project No:
0310-0002

City Project No:
00000



EXISTING	PROPOSED	DESCRIPTION
		PROPERTY (R.O.W.) LINE
		CURB & GUTTER
		"NO PARKING/FIRE LANE"
		CONCRETE SIDEWALKS
		GRATE INLET
		CURB INLET (SIZE VARIES)
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		RETAINING WALL
		SITE LIGHTING
		SIGN
		WHEEL STOP
		RAMP
		DUMPSTER
		BIKE RACK
		TREE TO BE SAVED

BENCHMARK:

LA1 BM100801-01:
SQUARE SET ON THE NORTHWEST CORNER OF A CONCRETE HEADWALL, ALONG THE EAST R.O.W. OF F.M. 1626, APPROXIMATELY 350 FEET NORTH OF THE INTERSECTION WITH DORMAN LANE. ELEVATION = 742.72 FEET

BENCHMARK 080410-01:
SQUARE SET AT NE CORNER OF STONE PLUM CREEK SIGN AT INTERSECTION OF THE SOUTH LINE OF KOHLERS AND THE WEST LINE OF KYLE PARKWAY. ELEVATION=776.53'

BENCHMARK 100801-02:
SQUARE SET ON NW CORNER OF CONCRETE CULVERT APRON ELEVATION=741.71'

BENCHMARK 080410-03:
MAG-NAIL SET ON CONCRETE APRON AT INTERSECTION OF VAUGHN AND KYLE PARKWAY. ELEVATION= 760.14'

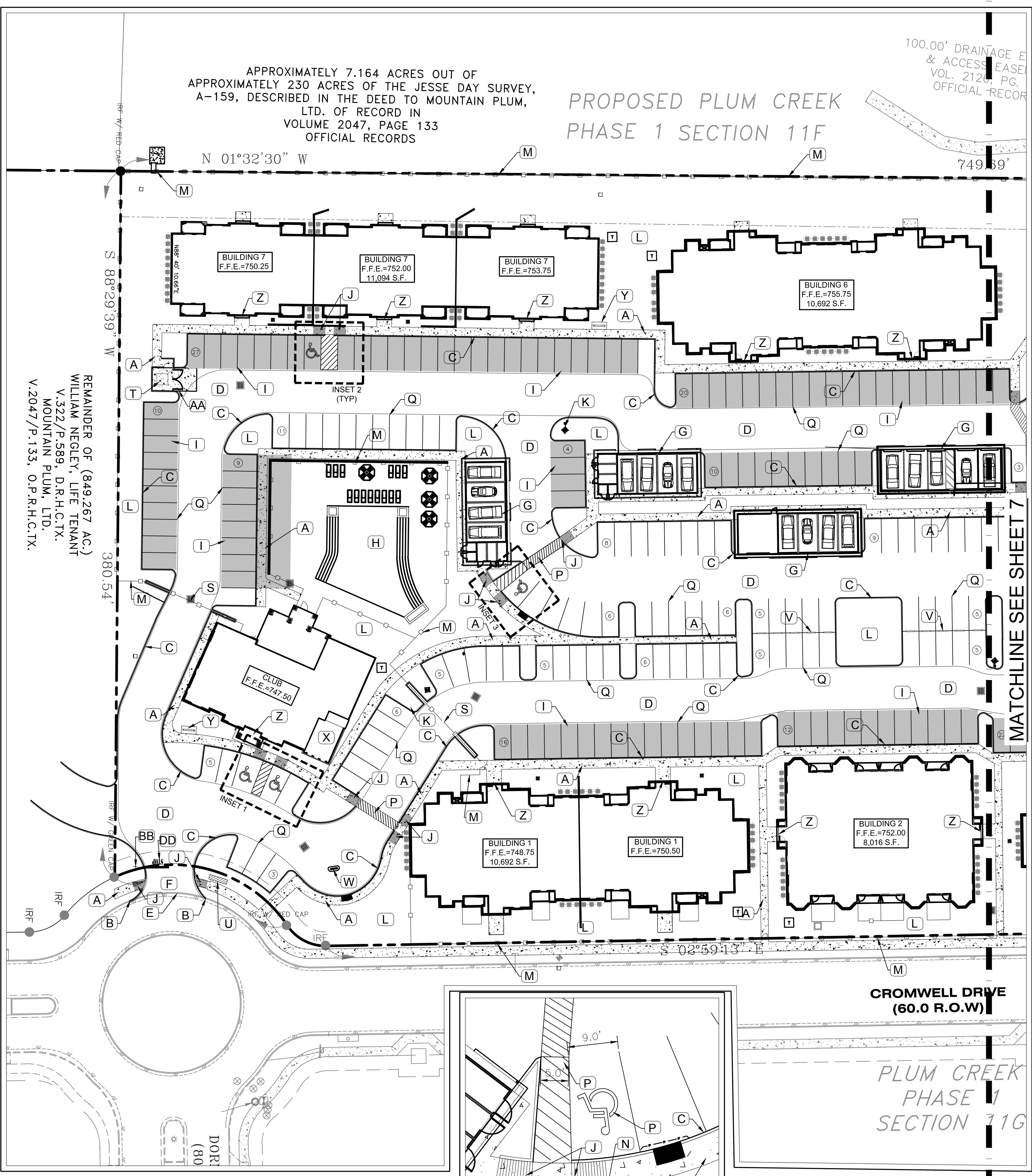
BENCHMARK 080410-04: SQUARE SET ON TOP OF CURB ELEVATION=744.14'

LEGAL DESCRIPTION:

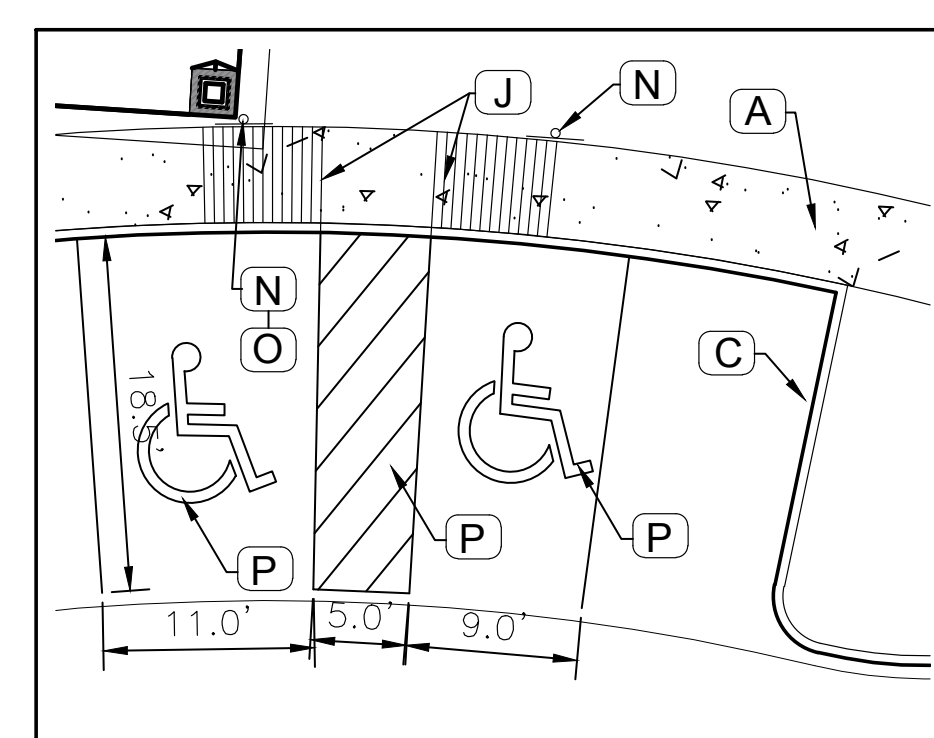
6.999 ACRE TRACT OF LAND IN THE JESSE DAY SURVEY, A-159, HAYS COUNTY, TEXAS.

SITE NOTE LEGEND:

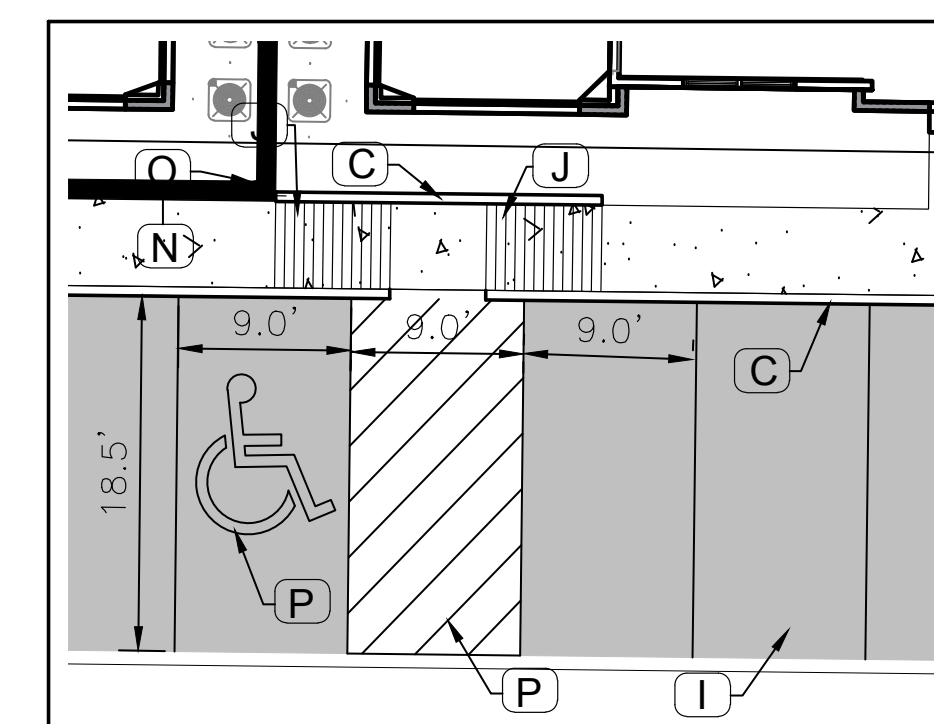
- (A)** CONCRETE SIDEWALK (4.5' TYPICAL) SEE DETAIL SHEET.
- (B)** EXISTING CONCRETE PAVEMENT /ASPHALT/ CURB & GUTTER TO REMAIN.
- (C)** CURB & GUTTER. SEE DETAIL.
- (D)** CONCRETE PAVEMENT. SEE PAVEMENT SECTION DETAIL ON GRADING PLAN SHEET.
- (E)** SAW CUT AND REMOVE EXISTING PAVEMENT. TIE NEW CONCRETE TYPE II DRIVEWAY TO EXISTING BEGIN INTEGRAL CURB AND GUTTER.
- (F)** TYPE II DRIVEWAY. SEE PAVING PLAN AND DETAIL SHEET.
- (G)** GARAGE PARKING. (SEE ARCHITECTURAL PLANS)
- (H)** POOL AREA.
- (I)** COVERED PARKING.
- (J)** ACCESSIBLE RAMP. SEE DETAIL SHEET.
- (K)** PROPOSED FIRE HYDRANT.
- (L)** LANDSCAPE AREA
- (M)** WROUGHT IRON FENCE. SEE LANDSCAPE PLANS.
- (N)** ACCESSIBLE PARKING SIGN, SEE DETAIL SHEET.
- (O)** ACCESSIBLE VAN PARKING SIGN, SEE DETAIL SHEET.
- (P)** ACCESSIBLE PAVEMENT STRIPING, SEE DETAIL SHEET.
- (Q)** 4" WHITE PAVEMENT STRIPING. SEE DETAIL SHEET.
- (R)** FIRE LANE STRIPING. SEE FIRE PROTECTION DETAIL SHEET.
- (S)** GATE ENTRANCE.
- (T)** DUMPSTER LOCATION. SEE DETAIL SHEET 26.
- (U)** MONUMENT SIGN. (BY OWNER) SEPARATE PERMIT.
- (V)** WHEEL STOP. SEE DETAIL SHEET.
- (W)** ENTRANCE KEY PAD.
- (X)** MAILBOX LOCATION. SEE ARCHITECTURAL PLANS.
- (Y)** BIKE RACK. SEE DETAIL SHEET.
- (Z)** FRONT DOOR LOCATION.
- (AA)** HEAVY DUTY CONCRETE. SEE GRADING PLAN SHEET.
- (BB)** STOP SIGN. SEE DETAIL SHEET.
- (CC)** EXISTING TRANSFORMER PAD.
- (DD)** STOP BAR PAVEMENT MARKING.



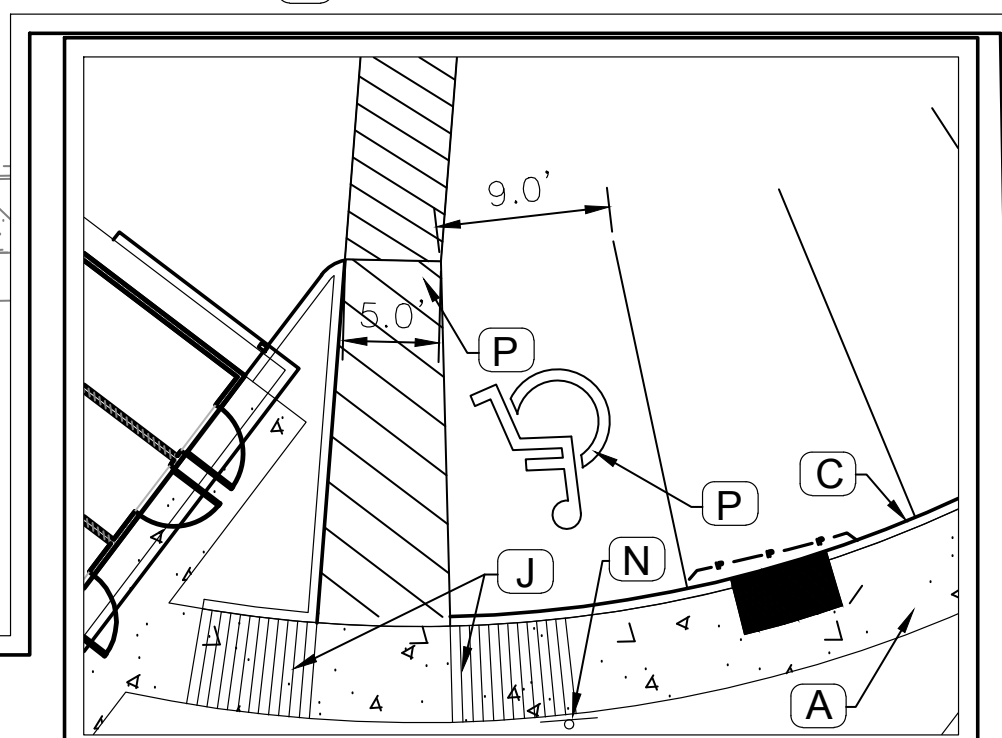
MATCHLINE SEE SHEET 7
SITE PLAN - B



INSET 1
SCALE: 1"=10'



INSET 2 (TYP.)
SCALE: 1"=10'



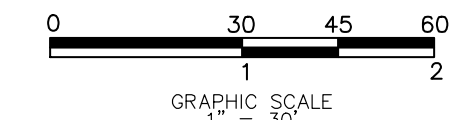
INSET 3
SCALE: 1"=10'

SITE NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPE.
2. REFERENCE ARCHITECTURAL / MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
3. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
4. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING APPURTENANCES, BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXITS.
5. IRRIGATION SLEEVES SHALL BE SET 14" BELOW GRADE AT PAVED DRIVEWAYS OR SIDEWALK AREAS.
6. THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGES TO EXISTING UTILITIES.
7. ALL EASEMENTS ARE SHOWN ON THIS PLAN, AS DISCOVERED DURING TITLE SURVEY RESEARCH.
8. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING REVIEW DEPARTMENT.
9. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL OR BUILDING PERMIT APPROVAL.
10. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE CITY CODE.
11. ADDITIONAL ELECTRICAL EASEMENTS MAY BE REQUIRED AT A LATER DATE.
12. MOTOR OPERATED GATES INSTALLED ACROSS FIRE ACCESS ROADWAYS SHALL BE EQUIPPED WITH GATE OPERATORS COMPLYING WITH UL 325 AND ASTM F2200. AN APPROVED MEANS OF OPENING THE MOTOR-OPERATED GATE IN THE EVENT UTILITY POWER IS LOST OR DISCONNECTED IS REQUIRED. AN APPROVED FIRE DEPARTMENT KNOX KEY SWITCH, INSTALLED AT AN APPROVED LOCATION, SHALL BE PROVIDED TO OVERRIDE ANY ACCESS CONTROL FEATURE.
13. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.
14. A 24' DRIVE ISLE MUST BE MAINTAINED FOR FIRE ACCESS.
15. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.

PROJECT SCOPE:

THIS PROJECT IS TO CREATE A RESIDENTIAL APARTMENTS COMPLEX WITH AN ASSOCIATED CLUB HOUSE, PARKING, UTILITIES, AND LANDSCAPING. STORM WATER FROM THIS PROJECT WILL BE ROUTED OFFSITE TO EXISTING WATER QUALITY AND DETENTION FACILITIES.



EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY (R.O.W.) LINE
---	---	CURB & GUTTER
---	---	LIP OF GUTTER
---	---	"NO PARKING/FIRE LANE"
---	---	CONCRETE SIDEWALKS
---	---	GRATE INLET
---	---	CURB INLET (SIZE VARIES)
---	---	TRANSFORMER (SIZE VARIES)
---	---	FIRE HYDRANT
---	---	RETAINING WALL
---	---	SITE LIGHTING
---	---	SIGN
---	---	WHEEL STOP
---	---	RAMP
---	---	DUMPSTER
---	---	BIKE RACK
---	---	TREE TO BE SAVED

BENCHMARK:

LA1 BM100801-01: SQUARE CUT SET ON THE NORTHWEST CORNER OF A CONCRETE HEADWALL, ALONG THE EAST R.O.W. OF F.M. 1626, APPROXIMATELY 350 FEET NORTH OF THE INTERSECTION WITH DORMAN LANE. ELEVATION = 742.72 FEET

BENCHMARK 080410-01: SQUARE SET AT NE CORNER OF STONE PLUM CREEK SIGN AT INTERSECTION OF THE SOUTH LINE OF KOHLER'S AND THE WEST LINE OF KYLE PARKWAY. ELEVATION=776.53'

BENCHMARK 100801-02: SQUARE SET ON NW CORNER OF CONCRETE CULVERT APRON ELEVATION=741.71'

BENCHMARK 080410-03: MAG-NAIL SET ON CONCRETE APRON AT INTERSECTION OF VAUGHN AND KYLE PARKWAY. ELEVATION= 760.14'

BENCHMARK 080410-04: SQUARE SET ON TOP OF CURB ELEVATION=744.14'

LEGAL DESCRIPTION:

6.999 ACRE TRACT OF LAND IN THE JESSE DAY SURVEY, A-159, HAYS COUNTY, TEXAS.

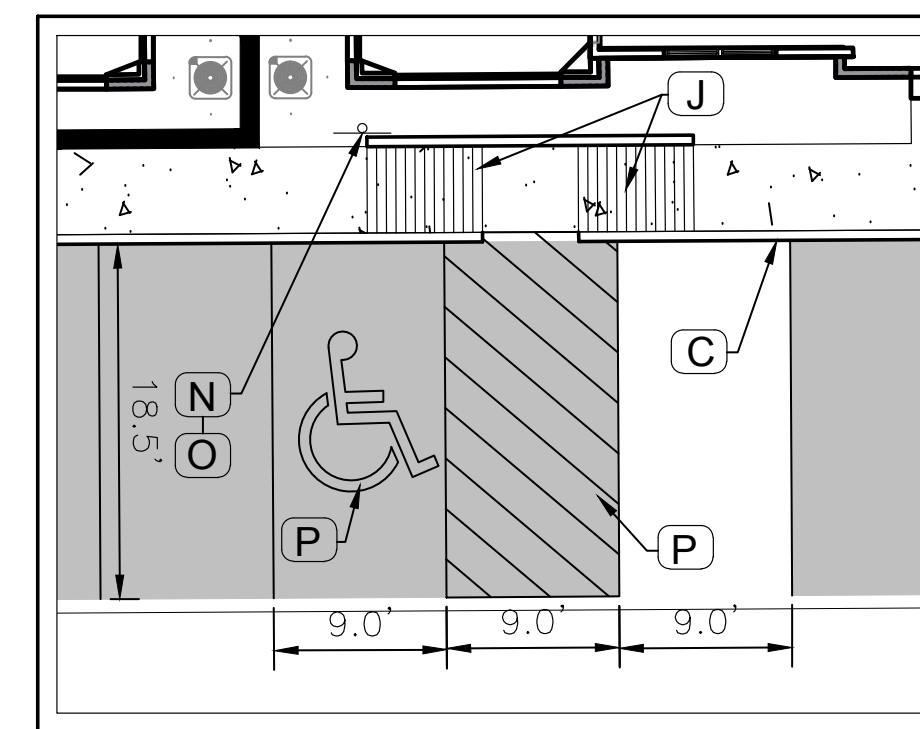
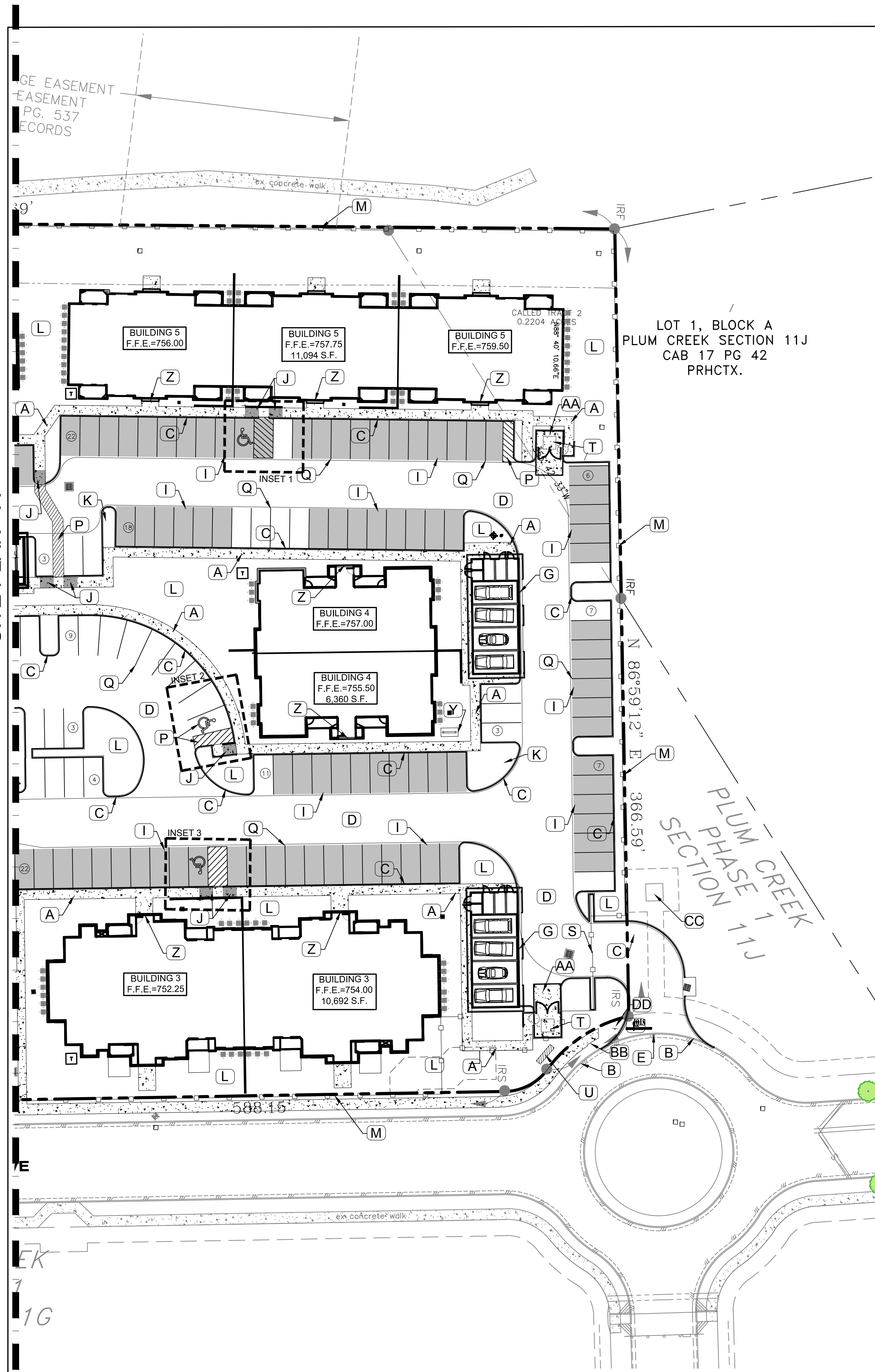
SITE NOTE LEGEND:

- (A) CONCRETE SIDEWALK (4.5' TYPICAL) SEE DETAIL SHEET.
- (B) EXISTING CONCRETE PAVEMENT /ASPHALT/ CURB & GUTTER TO REMAIN.
- (C) CURB & GUTTER. SEE DETAIL.
- (D) CONCRETE PAVEMENT. SEE PAVEMENT SECTION DETAIL ON GRADING PLAN SHEET.
- (E) SAW CUT AND REMOVE EXISTING PAVEMENT. TIE NEW CONCRETE TYPE II DRIVEWAY TO EXISTING BEGIN INTEGRAL CURB AND GUTTER.
- (F) TYPE II DRIVEWAY. SEE PAVING PLAN AND DETAIL SHEET.
- (G) GARAGE PARKING. (SEE ARCHITECTURAL PLANS)
- (H) POOL AREA.
- (I) COVERED PARKING.
- (J) ACCESSIBLE RAMP. SEE DETAIL SHEET.
- (K) PROPOSED FIRE HYDRANT.
- (L) LANDSCAPE AREA
- (M) WROUGHT IRON FENCE. SEE LANDSCAPE PLANS.
- (N) ACCESSIBLE PARKING SIGN. SEE DETAIL SHEET.
- (O) ACCESSIBLE VAN PARKING SIGN. SEE DETAIL SHEET.
- (P) ACCESSIBLE PAVEMENT STRIPING. SEE DETAIL SHEET.
- (Q) 4" WHITE PAVEMENT STRIPING. SEE DETAIL SHEET.
- (R) FIRE LANE STRIPING. SEE FIRE PROTECTION DETAIL SHEET.
- (S) GATE ENTRANCE.
- (T) DUMPSTER LOCATION. SEE DETAIL SHEET 26.
- (U) MONUMENT SIGN. (BY OTHERS) SEPARATE PERMIT.
- (V) WHEEL STOP. SEE DETAIL SHEET.
- (W) ENTRANCE KEY PAD.
- (X) MAILBOX LOCATION. SEE ARCHITECTURAL PLANS.
- (Y) BIKE RACK. SEE DETAIL SHEET.
- (Z) FRONT DOOR LOCATION.
- AA HEAVY DUTY CONCRETE. SEE GRADING PLAN SHEET.
- BB STOP SIGN. SEE DETAIL SHEET.
- CC EXISTING TRANSFORMER PAD.
- DD STOP BAR PAVEMENT MARKING.

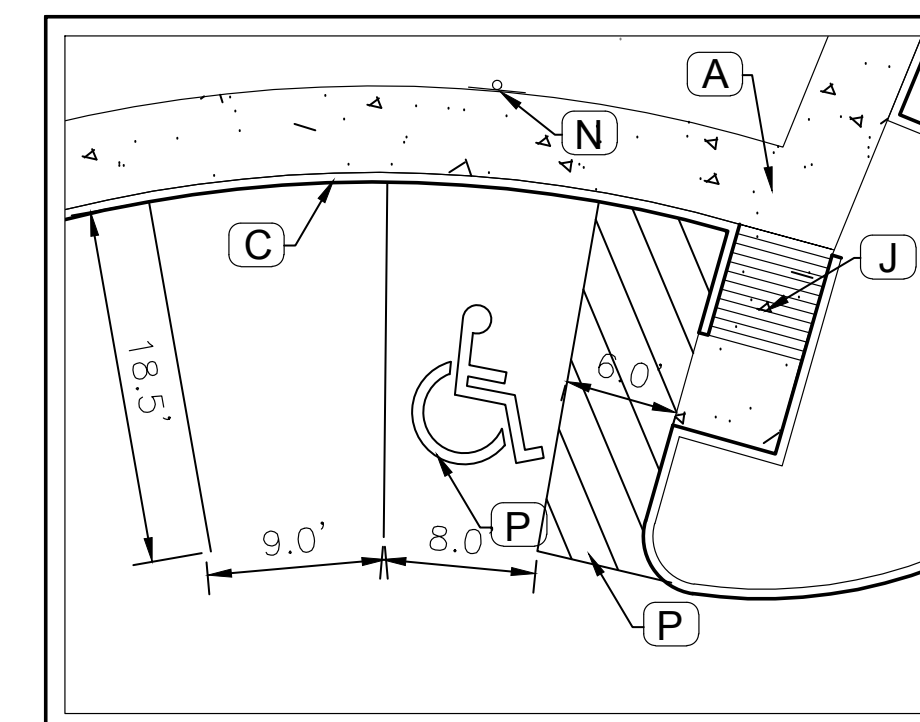
SITE NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPE.
2. REFERENCE ARCHITECTURAL / MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
3. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
4. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING APPURTENANCES, BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXITS.
5. IRRIGATION SLEEVES SHALL BE SET 14" BELOW GRADE AT PAVED DRIVEWAYS OR SIDEWALK AREAS. THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGES TO EXISTING UTILITIES.
6. ALL EASEMENTS ARE SHOWN ON THIS PLAN, AS DISCOVERED DURING TITLE SURVEY RESEARCH. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE SITE PLAN AMENDMENT AND APPROVAL OF THE PLANNING REVIEW DEPARTMENT.
7. APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL OR BUILDING PERMIT APPROVAL.
8. ALL SIGNS MUST COMPLY WITH REQUIREMENTS OF THE CITY CODE.
9. ADDITIONAL ELECTRICAL EASEMENTS MAY BE REQUIRED AT A LATER DATE.
10. MOTOR OPERATED GATES INSTALLED ACROSS FIRE ACCESS ROADWAYS SHALL BE EQUIPPED WITH GATE OPERATORS COMPLYING WITH UL 325 AND ASTM F2200. AN APPROVED MEANS OF OPENING THE MOTOR-OPERATED GATE IN THE EVENT UTILITY POWER IS LOST OR DISCONNECTED IS REQUIRED. AN APPROVED FIRE DEPARTMENT KNOX KEY SWITCH, INSTALLED AT AN APPROVED LOCATION, SHALL BE PROVIDED TO OVERRIDE ANY ACCESS CONTROL FEATURE.
11. FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.
12. A 24" DRIVE ISLE MUST BE MAINTAINED FOR FIRE ACCESS.
13. WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF KYLE.

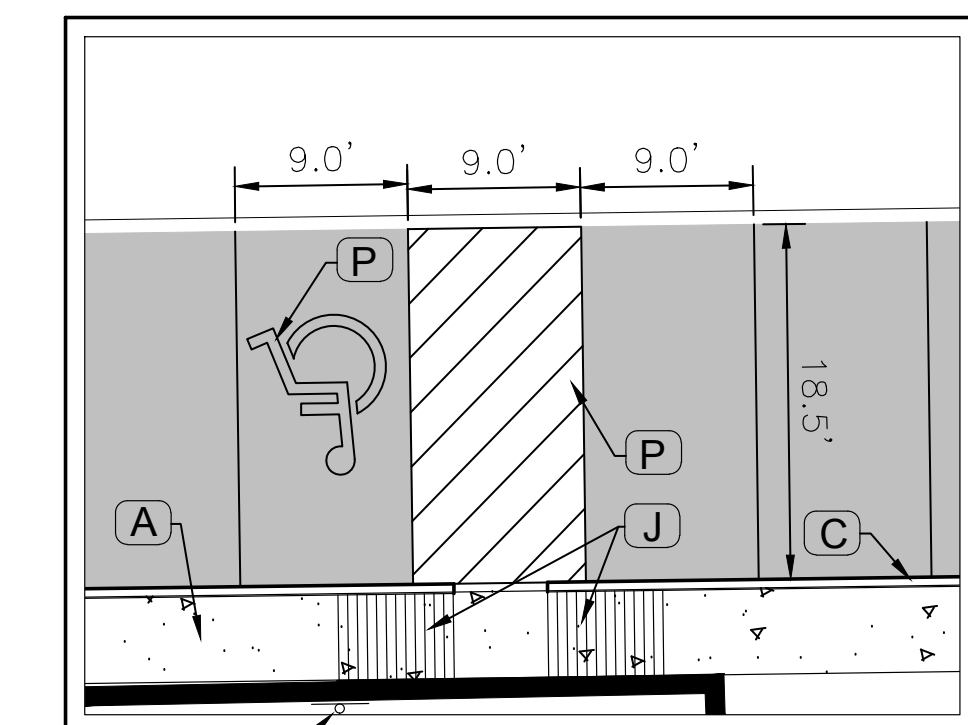
MATCHLINE SEE SHEET 6
SITE PLAN - A



INSET 1
SCALE: 1"=10'



INSET 2
SCALE: 1"=10'

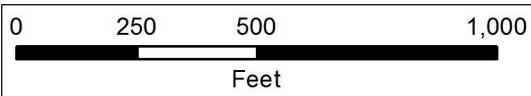
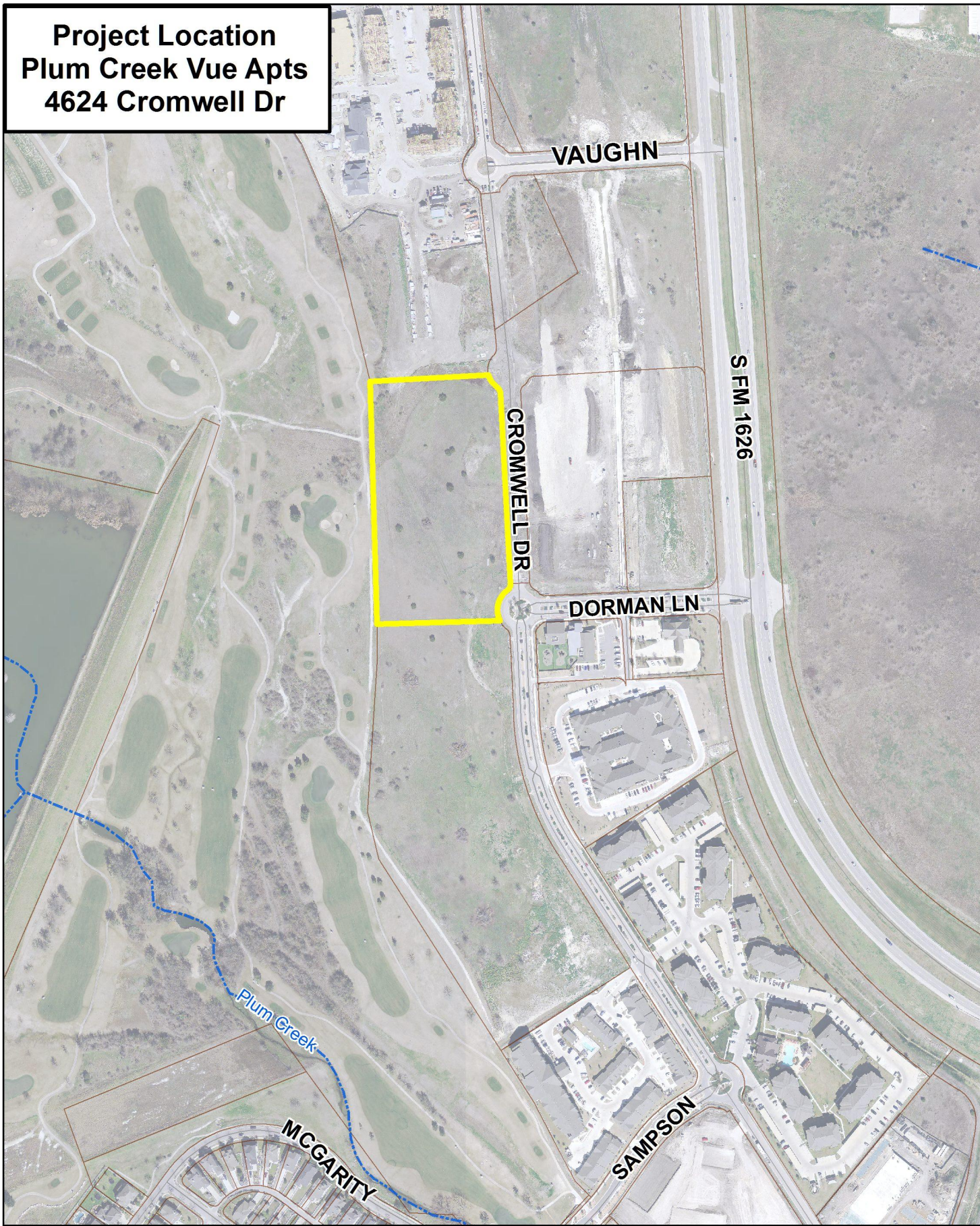


INSET 3
SCALE: 1"=10'

PROJECT SCOPE:
THIS PROJECT IS TO CREATE A RESIDENTIAL APARTMENTS COMPLEX WITH AN ASSOCIATED CLUB HOUSE, PARKING, UTILITIES, AND LANDSCAPING. STORM WATER FROM THIS PROJECT WILL BE ROUTED OFFSITE TO EXISTING WATER QUALITY AND DETENTION FACILITIES.

NO.	DESCRIPTION	DATE

**Project Location
Plum Creek Vue Apts
4624 Cromwell Dr**



 Property Boundary

 Parcel Lines